

UNITED STATES DISTRICT COURT
SOUTHERN DISTRICT OF NEW YORK

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NEW YORK SMSA LIMITED PARTNERSHIP d/b/a/
VERIZON WIRELESS, and HOMELAND TOWERS, LLC,

Plaintiffs,

-against-

THE VILLAGE OF NELSONVILLE, THE VILLAGE OF
NELSONVILLE VILLAGE BOARD, THE VILLAGE OF
NELSONVILLE ZONING BOARD OF APPEALS, THE
VILLAGE OF NELSONVILLE PLANNING BOARD, MINDY
JESEK, FOIL OFFICER AND VILLAGE CLERK (in her
official capacity) and WILLIAM BUJARSKI, BUILDING
INSPECTOR (in his official capacity),

18-cv-5932

Defendants.

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NEW CINGULAR WIRELESS PCS, LLC
d/b/a AT&T MOBILITY,

Plaintiff,

-against-

18-cv-5888

THE VILLAGE OF NELSONVILLE,

Defendant.

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STIPULATION OF SETTLEMENT AND CONSENT ORDER

WHEREAS, the plaintiffs New York SMSA Limited Partnership d/b/a Verizon Wireless, Homeland Towers, LLC and New Cingular Wireless PCS, LLC d/b/a AT&T Mobility (collectively, “Plaintiffs”), commenced these actions on June 29, 2018, against defendants the Village of Nelsonville, the Village of Nelsonville Village Board, the Village of Nelsonville Zoning Board of Appeals, the Village of Nelsonville Planning Board, Mindy Jesek, Foil Officer and Village Clerk (in her official capacity) and William Bujarski, Building Inspector (in his official capacity) (collectively, “Village” or “Defendants”), seeking *inter alia* a Judgment and Order finding that Defendants’ denial of Plaintiffs’

request to install and maintain a telecommunications facility at 15 Rockledge Road, Nelsonville, New York (“Property”) violated Plaintiffs’ rights under the Telecommunications Act of 1996 (“TCA”), as codified at 47 U.S.C. § 332(c) and § 253(a) and directing Defendants to immediately issue any and all local approvals necessary for Plaintiffs to install and operate the facility that is the subject of this action;

WHEREAS, the Village denied Plaintiffs’ request to build a 120-foot-tall cellular communications facility because, among other reasons, the Village concluded that (i) the Plaintiffs failed to comply with the Village Zoning Code requiring that the proposed installation be minimized to a level of insignificance; (ii) the proposed installation would result in a negative aesthetic impact in an area of scenic and historical significance; (iii) the Plaintiffs failed to demonstrate a significant gap in cellular call coverage in the Village of Nelsonville; and (iv) the Plaintiffs failed to locate the proposed tower where the visual impact is least detrimental;

WHEREAS, the Village denies all of the allegations in the Complaints and First Amended Complaint, and denies that it has any liability relating to these allegations and Plaintiffs deny that the Village had a basis to deny the applications and that they have any liability to the Village;

WHEREAS, this Stipulation of Settlement and Consent Order (“Consent Order”) is not an admission by the Defendants or the Plaintiffs of any liability or wrongful conduct;

WHEREAS, to avoid the delay, expense, inconvenience, and uncertainty of protracted litigation, Plaintiffs and Defendants have agreed to settle this action, pursuant to the terms and conditions set forth herein; and

WHEREAS, Plaintiffs and Defendants, intending to be legally bound, have consulted with their counsel and the undersigned counsel herein have the requisite authority and approval to enter into this Consent Order.

NOW, THEREFORE, IT IS HEREBY STIPULATED AND AGREED BY PLAINTIFFS AND DEFENDANTS, AND ORDERED BY THE COURT THAT:

1. Within 60 days of the date the Court “So Orders” this Consent Order, Plaintiffs will submit a complete application for a building permit to install a 95-foot-tall monopine tower (plus branches) and telecommunications facility at the Property as described and shown on the drawings attached hereto as Exhibit A (the “Facility”).

2. Plaintiffs agree that: (i) the Facility will be surrounded by a 8-foot-height cedar privacy fence; (ii) the Facility’s security and other lighting systems will be designed, installed and maintained in such a manner (through motion detection, automatic shut-off, projecting downward, shielding, and minimum wattage) as to minimize or eliminate light pollution; (iii) the Facility will be designed, installed and maintained in such a manner as to minimize or eliminate noise pollution; (iv) the color of the monopine tower, the retaining wall design and appearance, the fencing about the retaining wall, the sizing for the level spreader and stone rip-rap at the pipe outlets, and the layout/geometry of the site access driveway will be subject to the reasonable approval of the Village at the building permit stage; (v) the monopine tower will simulate a pine tree to the greatest extent that is commercially reasonable, including high-density branches with needles from the top of the tower to approximately 40 feet above finished grade as measured from the top of the foundation and as shown on Exhibit A, with non-uniform branch lengths, and with the height of the branches being consistent with the drawings attached hereto as Exhibit A; (vi) the vegetative screening, netting and fencing used at the Facility will be camouflaged in color for woodland environments (*i.e.*, green, brown or black); (vii) Plaintiffs will maintain during the life of the Facility the cedar privacy fence, vegetative screening and all other elements of the Facility to function and appear in substantially the same manner as when the certificate of compliance is issued by the Village; (viii) in order to ensure that government and emergency service vehicles have access to the Facility, Plaintiffs will keep the access drive on the

Property in good order and repair, and free of impediments to access; (ix) no other towers or telecommunications facilities shall be permitted anywhere on the Property (however, subject to all necessary approvals, other telecommunications antennas and equipment shall be permitted to be collocated on the monopine and within the fenced compound associated with the Facility); (x) no other structures shall be permitted on the Property except for within the fenced compound or on the monopine tower; and (xi) the remainder of the Property shall be preserved from future development beyond the limits of the Facility compound and access drive. It is understood by the parties hereto that Homeland Towers holds an option to purchase the Property and intends to complete the purchase of the Property upon the full execution of this Consent Order. It is also understood that, if Homeland Towers does not become fee simple owner of the Property, the Village shall have no obligation to issue a building permit to construct the Facility. Within seven (7) days of the issuance of a building permit for the construction of the Facility, Homeland Towers shall record a restrictive covenant against the Property embodying the limitations set forth in paragraph 2(ix), (x) and (xi) in a form approved by the Village (“Restrictive Covenant”). Homeland Towers will provide the Village with proof of the filing of the Restrictive Covenant within 2 days of its recordation. In the event the Facility is not constructed on the Property or a court of competent jurisdiction prevents the construction of the Facility, including access and/or utilities thereto, or requires the removal of the Facility from the Property, the provisions of paragraph 2(x) and 2(xi) shall not be applicable and the Property may be developed for any lawful purpose, subject to all necessary approvals.

3. Defendants shall issue Plaintiffs a building permit for the Facility within 15 days of the receipt of a complete application. The Building Permit application shall consist of the drawings attached hereto as Exhibit A, the contractor’s insurance certificates, the customary Nelsonville Building Permit Application form and fee, under Village Zoning Code § 188-71(F), a \$25,000.00 bond in a form reasonably acceptable to the Village for decommission and removal of the Facility and a

\$50,000.00 bond in a form reasonably acceptable to the Village for repair and maintenance of Facility site improvements, a calculation of the Facility's worst-case Maximum Permissible Exposure ("MPE") levels for human radio frequency exposure, proof that Homeland is sole fee simple owner of the Property, and any other information requested by the Village in its reasonable discretion and customarily required for building permit applications.

4. Defendants shall issue a certificate of compliance within 15 days of Plaintiffs' complete request (including, third-party inspection reports, engineering reports evidencing compliance with the prescribed manner of construction, as-built drawings, proof of the filing of the Restrictive Covenant, elevation certificate showing compliance with height limitations and such other documents as may be reasonably requested by Defendants) for such issuance and upon proper and complete construction of the Facility. Upon issuance of the certificate of compliance, the Facility will be deemed a permitted use as if it had all necessary permits required by the Village including any necessary variance pursuant to New York State Village Law Section 7-736. However, nothing in this Consent Order shall be construed to mean that the Facility does not need to comply with all applicable existing laws. Plaintiffs shall comply Village Code §§ 188-70(A)(5), 188-70(A)(7), 188-70(B)(2)(b), 188-70(B)(3) (Decommission and removal shall be performed by the Plaintiffs, at their sole cost and expense, within 6 months of the cessation of operations of the tower for the transmission of wireless communications). In addition, if Plaintiffs add or make an application to add additional radio frequency carriers to the Facility, or make any other material change to the Facility, Plaintiffs agree to provide an updated calculation of the Facility's worst-case MPE levels for human radio frequency exposure.

5. Plaintiffs hereby forever waive and relinquish any rights they may have under any law whatsoever (*e.g.*, Section 6409 (codified as 47 U.S.C.S. 1455(a)) of the Middle Class Tax Relief and Job Creation Act of 2012, and its implementing regulation 47 C.F.R. §1.6100, Nelsonville Zoning Code

Art. VII, etc.) to raise (or apply to raise) the height of the Facility (except as set forth in paragraph 12 herein).

6. Although Exhibit A already includes proposed landscaping, Plaintiffs shall establish a \$30,000.00 fund, to be held by and distributed by the Village to property owners near the Facility for the installation of landscaping. Plaintiffs shall have no responsibility to maintain any such landscaping. Such property owners that request in writing such funds for the installation of landscaping will execute in advance of the distribution of such funds a release of liability and waiver of claims related to the funds and the Facility and access thereto in a form reasonably acceptable to the Plaintiffs. The funds shall be delivered to Bleakley Platt & Schmidt, LLP in the form of a bank check made payable to the Village within 30 days of the date the Village issues all necessary certificates of completion for the Facility, provided there are no pending lawsuits that have not been fully resolved related to the Facility, Property or easements or rights-of-way to the Property in any way whatsoever. The funds must be used specifically for landscaping purposes and any unused funds that are not distributed by the later of: (1) 6 months of the submission of the funds to Bleakley Platt & Schmidt, LLP, or (2) 3 months from the Village's issuance of the certificate of compliance, shall be returned to Plaintiffs to be used, within 12 months of return, to enhance the visual mitigation of the Facility. The appropriate enhanced visual mitigation measures will be proposed by the Village and reasonably agreed to by Plaintiffs.

7. This Consent Order shall not be construed to create rights in, or grant any cause of action to, any third party not party to this Consent Order. For the avoidance of doubt, the "property owners near the Facility" referenced in paragraph 6 are not third-party beneficiaries under this Consent Order and have no rights or causes of action created by this Consent Order.

8. By entering this Consent Order, the Village makes no representation whatsoever whether the ability or authority to construct or maintain the proposed improvements in Exhibit A are

within the rights Plaintiffs claim under the “Existing Rockledge Road Access Easement” (Liber 667, pg. 615) referenced therein.

9. Within 30 days of the date the Court “So Orders” this Consent Order, Plaintiffs will reimburse the Village for the expenses it incurred in reviewing Plaintiffs’ special use permit, variance and site plan approval applications in an amount of \$35,758.14. The reimbursement will be deemed full satisfaction of the expenses the Village incurred. The reimbursement shall be delivered to Bleakley Platt & Schmidt, LLP in the form of a bank check made payable to the Village and shall be in full satisfaction of any sums owed to the Defendants in connection with the underlying special use permit, variance and site plan applications submitted by Plaintiffs that were denied by the Village.

10. Plaintiffs and Defendants acknowledge that this Consent Order was the product of negotiation by all parties through their counsel, including negotiation as to the language set forth herein, and as such, to the extent there is any issue with respect to any alleged, perceived or actual ambiguity in this Consent Order, the ambiguity shall not be resolved based on who drafted the Consent Order. The obligations of this Consent Order apply to and are binding upon the parties, and any successors and assigns or other entities or persons otherwise bound by law.

11. Plaintiffs knowingly and voluntarily release and forever discharge Defendants of and from all actions, suits, debts, dues, sums of money, accounts, reckonings, bonds, bills, specialties, covenants, contracts, controversies, agreements, promises, variances, trespasses, damages, judgments, extents, executions, claims, and demands whatsoever, in law, admiralty or equity, which against the Defendants, the Plaintiffs ever had, now have or will ever have for, shall or may have for, upon, or by reason of this action, the Facility, the Property, and any matter related in anyway whatsoever to this action, from the beginning of time to the date the Court “So Orders” this Consent Order, including those claims that were asserted by Plaintiffs in this lawsuit.

12. Upon request of the Village, Plaintiff, Homeland Towers, shall make space available to the Village and local emergency service entities at no cost for the placement of three noncommercial emergency services antennas on the tower at a location, at the Village's option, either: (1) at, or below, 50 feet above ground level ("Bottom Mount"), (2) on the top of the tower provided no such emergency service antenna shall be any closer to the Verizon Wireless or AT&T Mobility antennas than twelve (12) feet (and with no unreasonably harmful interference to the signal transmission of other antennas on the tower) ("Top Mount"), or (3) at some combination of Bottom Mount and Top Mount; as well as related noncommercial equipment within a ten-foot by ten-foot space adjacent to the equipment compound. Homeland Towers shall not be responsible for the cost to purchase, install, or maintain any such antennas or equipment.

13. This Consent Order shall be deemed a Type II action under the New York State Environmental Quality Review Act, as it is the action of a court. 6 N.Y.C.R.R. § 617.5(c)(46).

14. Upon the execution of this Consent Order by or on behalf of all parties and the "so ordering" of this Consent Order by the Court, this action will be dismissed with prejudice, and without fees, costs, disbursements, damages, interest or attorneys' fees against any party, except as otherwise set forth herein. Any party may, upon notice, seek to enforce this Consent Order.

DEFENDANTS:

Adam Rodriguez, Esq.
BLEAKLEY PLATT & SCHMIDT, LLP
Attorneys for Defendants
One No. Lexington Avenue
White Plains, NY 10601
T. (914) 287-6145

PLAINTIFFS VERIZON & HOMELAND:

Robert D. Gaudio, Esq.
SNYDER & SNYDER, LLP
Attorneys for Plaintiffs Verizon & Homeland
94 White Plains Road
Tarrytown, NY 10591
T. (914) 333-0700

PLAINTIFF NEW CINGULAR:

Andrew B. Joseph, Esq.
DRINKER BIDDLE & REATH, LLP
Attorneys for New Cingular
1177 Avenue of the Americas
New York, NY, 10036-2714
T. 973-549-7264

Dated: _____, 2020

SO ORDERED:

The Honorable Vincent L. Briccetti
United States District Judge

PROJECT INFORMATION:

PROPOSED WORK:	PROPOSED UNMANNED COMMERCIAL COMMUNICATIONS TOWER WITH PERSONAL WIRELESS SERVICE FACILITIES INCLUDING THE INSTALLATION OF A 95' MONOPINE WITH ANTENNAS AND ASSOCIATED EQUIPMENT WITHIN A PROPOSED FENCED MULTI-CARRIER WIRELESS EQUIPMENT COMPOUND.
SITE ADDRESS:	15 ROCKLEDGE ROAD NELSONVILLE, NY 10516
PROPERTY OWNER:	DOUGLAS W. LOGAN P.O. BOX 188 COLD SPRING, NY 10516
TOWER OWNER/ CO-APPLICANTS:	HOMELAND TOWERS, LLC 9 HARMONY STREET, 2ND FLOOR DANBURY, CT 06810
	ORANGE COUNTY – POUGHKEEPSIE LIMITED PARTNERSHIP d/b/a VERIZON WIRELESS ONE VERIZON WAY MAIL STOP 4AW100 BASKING RIDGE, NJ 07920
	NEW CINGULAR WIRELESS PCS LLC 575 MOROSGO DRIVE, 13-F WEST TOWER ATLANTA, GA 30324
ELECTRICAL CONTACT:	CENTRAL HUDSON GAS & ELECTRIC CONTACT: CUSTOMER SERVICE PHONE: (800) 527-2714
TELCO CONTACT:	VERIZON (800) 843-2255
LATITUDE:	N41°25'20.32"
LONGITUDE:	W73°56'27.56"
LAT/LONG TYPE:	NORTH AMERICAN DATUM OF 1983 (NAD83)
ELEVATION:	±363.15'
JURISDICTION:	VILLAGE OF NELSONVILLE
COUNTY:	PUTNAM COUNTY
TAX PARCEL:	49.6-1-7
LOT SIZE:	9.63 ACRES
ZONING DISTRICT:	MR "MOUNTAIN RESIDENTIAL"
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	COMMERCIAL COMMUNICATIONS TOWER WITH PERSONAL WIRELESS SERVICE FACILITIES

TABLE OF LAND USE			
SECTION 49.6, BLOCK 1, LOT 7 ZONE MR, "MOUNTAIN RESIDENTIAL"			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (SQUARE FEET)	80,000	419,657	419,657
MINIMUM LOT FRONTAGE (FEET)	175	0 ⁽¹⁾	0 ⁽¹⁾
MINIMUM LOT DIMENSION (FEET)	150	211.4	211.4
STREET LINE BUILDING SETBACK (FEET)	60	N/A	N/A
PROPERLY LINE BUILDING SETBACK (FEET)	25	N/A	N/A
MAXIMUM BUILDING HEIGHT (STORIES/FEET)	2.5 / 35	N/A	N/A
BUILDING COVERAGE (PERCENT)	10	N/A	N/A
COMMUNICATIONS TOWERS SUPPLEMENTARY REGULATIONS			
HABITABLE STRUCTURE SETBACK ⁽²⁾ (FEET)	300	N/A	±308.9
FRONT YARD TOWER SETBACK ⁽³⁾ (FEET)	150	N/A	±168.8
SIDE YARD TOWER SETBACK ⁽⁴⁾ (FEET)	118.75	N/A	±239.2
MAXIMUM TOWER HEIGHT ⁽⁵⁾ (FEET)	110	N/A	95
MINIMUM TOWER SEPARATION ⁽⁶⁾ (FEET)	500	N/A	>500
SIDE YARD ACCESSORY STRUCTURE SETBACK ⁽⁷⁾ (FEET)	100	N/A	±178.7
REAR YARD ACCESSORY STRUCTURE SETBACK ⁽⁷⁾ (FEET)	100	N/A	±481.9
PARKING SUMMARY			
PARKING SPACES ⁽⁸⁾ (SPACES)	2	N/A	2

- NOTES:
- EXISTING NON-CONFORMITY.
 - PER SECTION 188-71.D(2) OF THE VILLAGE OF NELSONVILLE ZONING CODE, NO TOWER SHALL BE PLACED CLOSER THAN 300 FEET TO THE NEAREST HABITABLE STRUCTURE.
 - PER SECTION 188-71.D(5)(1) OF THE VILLAGE OF NELSONVILLE ZONING CODE, THE MINIMUM FRONT YARD SETBACK TO A TOWER SHALL BE 150 FEET OR 125% OF THE HEIGHT OF THE TOWER, WHICHEVER IS GREATER.
 - PER SECTION 188-71.D(5)(2) OF THE VILLAGE OF NELSONVILLE ZONING CODE, THE MINIMUM SIDE YARD SETBACK TO A TOWER SHALL BE 50 FEET OR 125% OF THE HEIGHT OF THE TOWER, WHICHEVER IS GREATER.
 - PER SECTION 188-71.D(6) OF THE VILLAGE OF NELSONVILLE ZONING CODE, THE MAXIMUM HEIGHT OF A FREESTANDING COMMERCIAL TELECOMMUNICATIONS TOWER SHALL BE 110 FEET.
 - PER SECTION 188-71.D(3) OF THE VILLAGE OF NELSONVILLE ZONING CODE, IN A RESIDENTIAL ZONE, A TOWER SHALL NOT BE PLACED CLOSER THAN 500 FEET TO ANY EXISTING COMMERCIAL COMMUNICATIONS TOWER, WHETHER SUCH EXISTING TOWER IS IN A RESIDENTIAL ZONE OR ANY OTHER ZONE.
 - PER SECTION 188-71.D(5)(c) OF THE VILLAGE OF NELSONVILLE ZONING CODE, NO BUILDINGS OR STRUCTURES ACCESSORY TO THE OPERATION OF A COMMERCIAL TELECOMMUNICATIONS FACILITY OR COMMERCIAL TELECOMMUNICATIONS ANTENNA INSTALLATION MAY BE CONSTRUCTED IN ANY REQUIRED FRONT YARD AND MUST PROVIDE AT LEAST 50 FOOT SIDE AND REAR SETBACK FROM THE PROPERTY LINE. ON ANY LOT LINE ABUTTING A RESIDENTIAL DISTRICT, THE REQUIRED SETBACK SHALL BE 100 FEET.
 - PER SECTION 188-71.D(c)(2) OF THE VILLAGE OF NELSONVILLE ZONING CODE, A MINIMUM OF TWO PARKING SPACES SHALL BE PROVIDED FOR EACH COMMERCIAL TELECOMMUNICATIONS TOWER WHICH HOUSES A COMMERCIAL TELECOMMUNICATIONS ANTENNA INSTALLATION.

GENERAL CONSTRUCTION NOTES APPLY TO ALL WORK HEREIN:

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7962) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY HIS OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE SOURCES, AND IN ANY EVENT, OTHER UTILITIES ON THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNDUE INTERRUPTION OF UTILITY SERVICE.
- UNDER INDUSTRIAL CODE 753, CONTRACTOR SHALL NOTIFY ALL OPERATORS OF UTILITIES LOCATED IN THE AREA WHERE THE WORK IS TO BE PERFORMED PRIOR TO THE START OF THIS WORK SO THAT ALL THE VARIOUS UNDERGROUND UTILITY OPERATORS WILL BE ABLE TO LOCATE AND MARK THE LOCATIONS OF THEIR OWN UTILITIES. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED.
- CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC.
- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES, APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERETO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH STANDARDS (OSHA); AND APPLICABLE SAFETY, HEALTH REGULATIONS AND BUILDING CODES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISION OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYSOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
- PRIOR TO OBTAINING A BUILDING PERMIT TO ALLOW ITS CONSTRUCTION, DETAILED DESIGN CALCULATIONS MUST BE PROVIDED TO ILLUSTRATE COMPLIANCE WITH ANSI TIA/EIA 222-F AND ANSI TIA 222-G "STRUCTURAL STANDARDS FOR ANTENNA SUPPORTING STRUCTURES AND ANTENNAS" AND THE NYS BUILDING CODE, FOR REVIEW AND ACCEPTANCE BY THE VILLAGE.

SITE ZONING DRAWINGS

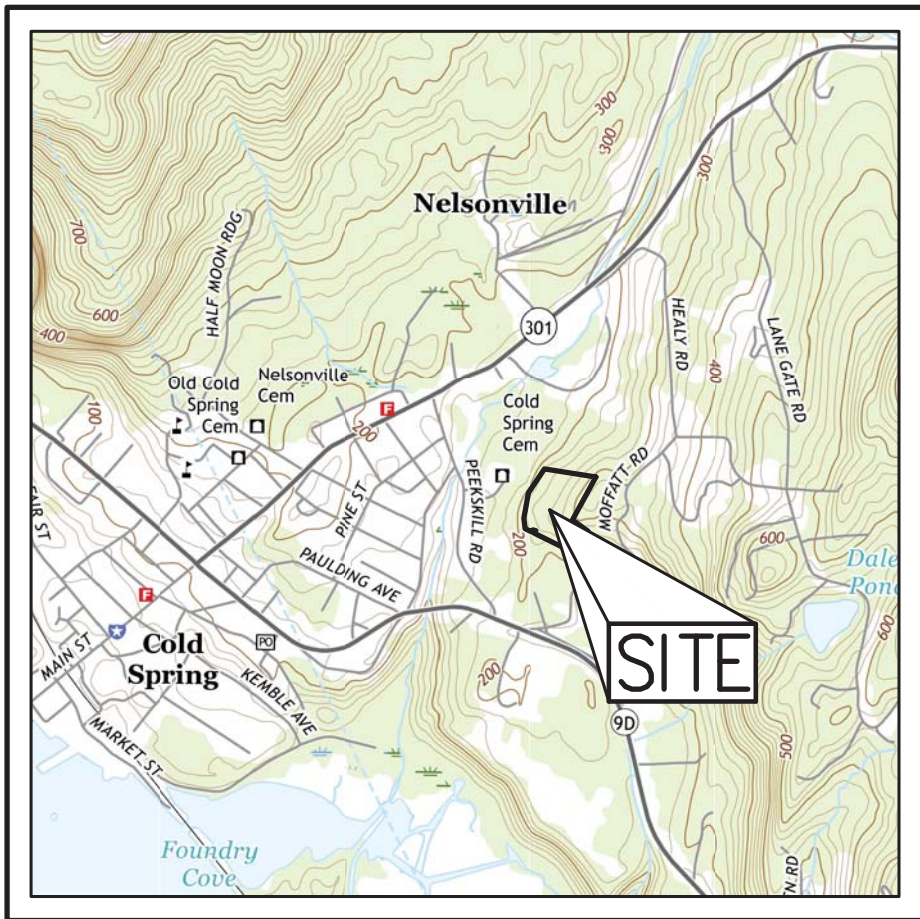
SITE NUMBER: NY170

SITE NAME: NELSONVILLE

15 ROCKLEDGE ROAD

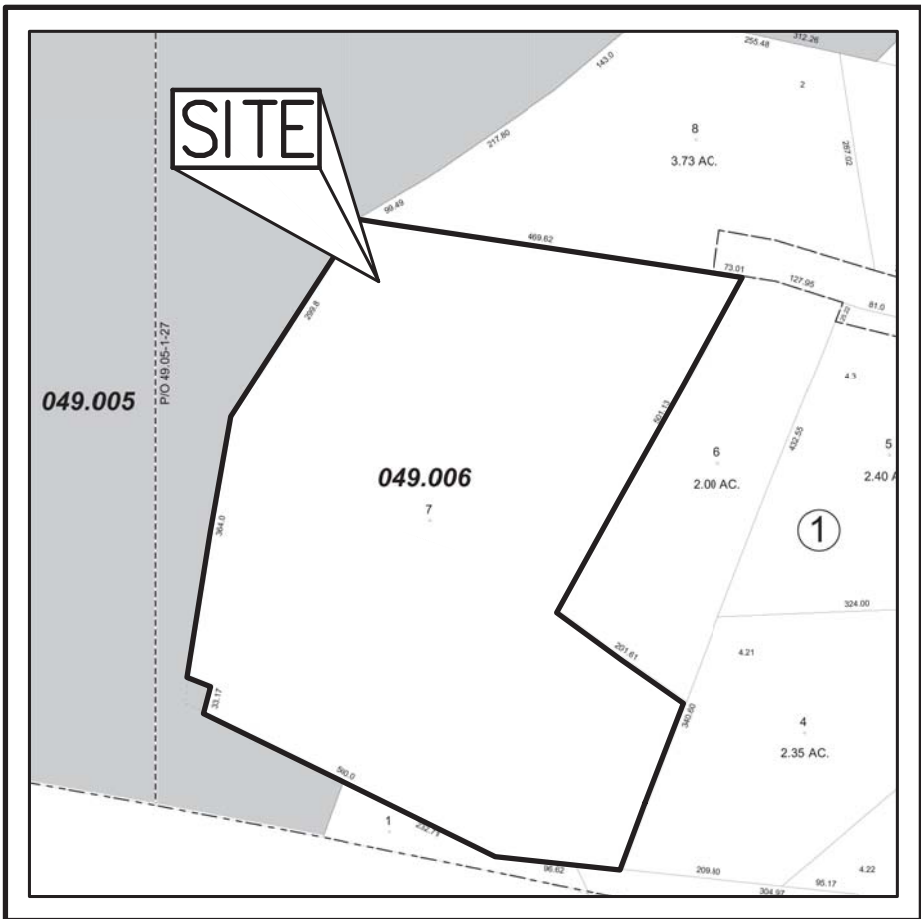
VILLAGE OF NELSONVILLE

PUTNAM COUNTY, NY



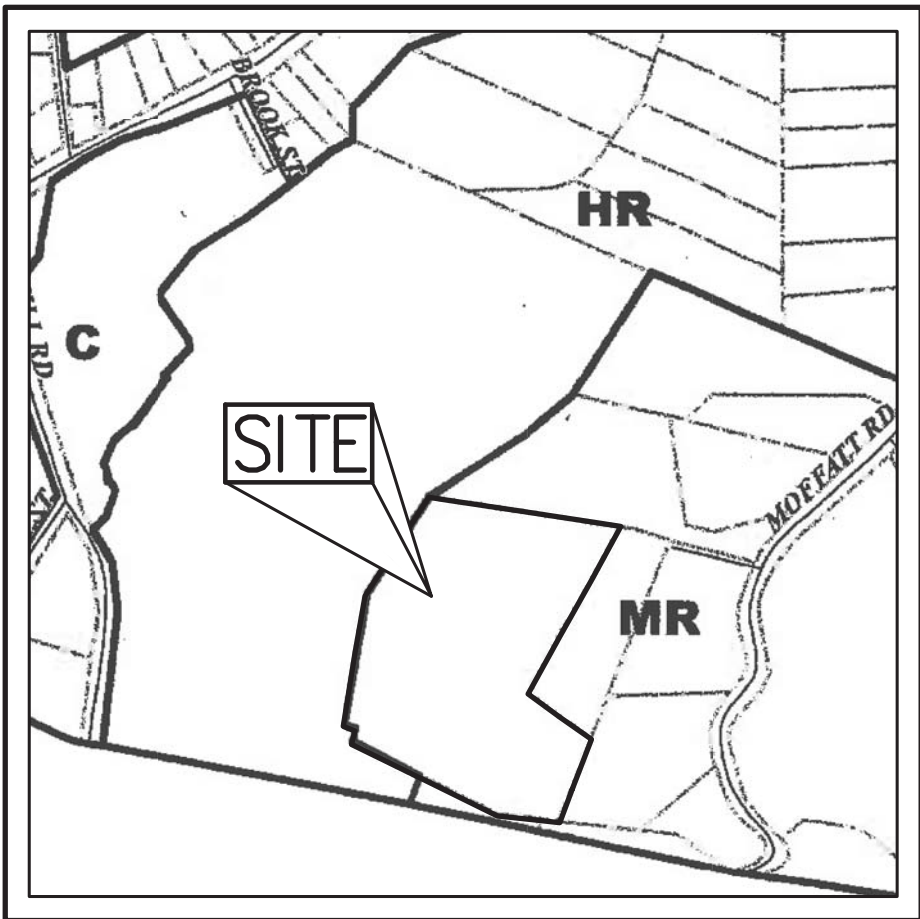
VICINITY MAP

SCALE: 1" = 2,000'



TAX PARCEL MAP

SCALE: 1" = 250'



ZONING MAP

SCALE: 1" = 500'

ZONING LEGEND

- C – COMMERCIAL
- HR – HILLSIDE RESIDENTIAL
- MR – MOUNTAIN RESIDENTIAL*

GENERAL SEQUENCE OF CONSTRUCTION:

- PRIOR TO THE INITIATION OF ANY CONSTRUCTION, THE APPLICANT OR HIS REPRESENTATIVE WILL MEET ON-SITE WITH THE VILLAGE BUILDING INSPECTOR, VILLAGE ENGINEER, SITE CONTRACTOR, AND/OR ANY ADDITIONAL OUTSIDE AGENCIES THAT MAY HAVE JURISDICTION FOR A PRE-CONSTRUCTION CONFERENCE TO REVIEW ALL FACETS OF CONSTRUCTION, REQUIRED EROSION PROTECTION MEASURES AND REQUIRED INSPECTIONS.
- CONDUCT ALL ROCKLEDGE ROAD / EASEMENT IMPROVEMENTS, INCLUDING UTILITY TRENCHING.
- STAKE LIMIT OF DISTURBANCE BOUNDARY WITH LATHE AND FLAGGING. INSTALL A STABILIZED CONSTRUCTION ENTRANCE.
- INSTALL ALL SILT FENCES.
- ENSURE THE PROTECTION AND FUNCTION OF THE EXISTING DETENTION POND, OUTLET CONTROL STRUCTURES AND CONVEYANCE PIPES FOR THE DURATION OF CONSTRUCTION ACTIVITIES.
- INSTALL TEMPORARY INLET PROTECTION ON DETENTION POND DRAINAGE STRUCTURES.
- CONSTRUCT THE VEGETATIVE SWALE TO ACT AS A DIVERSION SWALE TO THE EAST OF THE PROPOSED COMPOUND.
- PROVIDE STONE CHECK DAMS AT REGULAR INTERVALS IN THE DIVERSION SWALE.
- CLEAR AND GRUB THE AREA TO BE CONSTRUCTED INCLUDING ACCESS DRIVEWAY.
- REMOVE AND STOCKPILE TOPSOIL. INSTALL SILT FENCING AROUND THE TEMPORARY TOPSOIL STOCKPILE LOCATION FOR EROSION CONTROL PURPOSES.
- PROCEED WITH ROUGH GRADING OF THE AREA UNDER ACTIVE CONSTRUCTION.
- INSTALL THE STORM DRAINAGE SYSTEM CONSISTING OF THE DRAIN INLET, CONVEYANCE PIPE AND STONE RIP RAP.
- INSTALL UTILITIES IN BURIED CONDUIT.
- BEGIN FINAL ROADWAY CONSTRUCTION AND FINE GRADING.
- DIRECT ALL STORM DRAINAGE TO THE PROPOSED STORM WATER MANAGEMENT PRACTICES AS SHOWN ON THE PLANS.
- FINISH GRADING, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION.
- CLEAN AREAS AND STORM DRAINAGE SYSTEM OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.
- COMPLETE CONSTRUCTION.

PROJECT CONTACTS:

SITE PLANNER & CIVIL ENGINEER



**JMC PLANNING ENGINEERING
LANDSCAPE ARCHITECTURE
& LAND SURVEYING, PLLC**
120 BEDFORD ROAD
ARMONK, NY 10504
(914) 273-5225

APPLICANT:



HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CT 06810
(203) 297-6345

**ORANGE COUNTY - POUGHKEEPSIE LIMITED
PARTNERSHIP d/b/a VERIZON WIRELESS**
ONE VERIZON WAY
MAIL STOP 4AW100
BASKING RIDGE, NJ 07920

NEW CINGULAR WIRELESS PCS LLC
575 MOROSCO DRIVE, 13-F WEST TOWER
ATLANTA, GA 30324

ATTORNEY:

SNYDER & SNYDER, LLP
94 WHITE PLAINS ROAD,
TARRYTOWN, NY 10591
(914) 333-0700

SURVEYOR:

BADEY & WATSON SURVEYING & ENGINEERING, PC
3063 ROUTE 9
COLD SPRING, NY 10516
(845) 265-9217

NEPA CONSULTANT:

CBRE TELECOM SERVICES, INC.
4 WEST RED OAK LANE
WHITE PLAINS, NY 10604
(914) 694-9600

JMC DRAWINGS:

- | | |
|---------------|---|
| ZD-1 | COVER SHEET |
| ZD-2 | SITE ABUTTERS PLAN |
| ZD-3 | OVERALL SITE PLAN |
| ZD-4 | TREE REMOVAL PLAN |
| ZD-5 | SITE LAYOUT AND LANDSCAPING PLAN |
| ZD-6 | FIRE APPARATUS ACCESS PLAN |
| ZD-7 | SITE GRADING, UTILITIES, & EROSION
& SEDIMENT CONTROL PLAN |
| ZD-7A | ACCESS DRIVE PROFILE |
| ZD-8 | CONSTRUCTION DETAILS |
| ZD-9 | CONSTRUCTION DETAILS |
| ZD-10 | CONSTRUCTION DETAILS |
| ZD-10A | CONSTRUCTION DETAILS |
| ZD-11 | ROCKLEDGE ROAD / EASEMENT
CONCEPTUAL IMPROVEMENT PLAN |
| ZD-12 | ROCKLEDGE ROAD / EASEMENT
FIRE APPARATUS ACCESS PLAN |
| ZD-13 | SITE CROSS SECTIONS |
| ZD-14 | SITE CROSS SECTIONS |

SITE NAME: NELSONVILLE
SITE NUMBER: NY170
TAX PARCELS: 49.6-1-7

NO.	REVISION	DATE	BY	DRAWN	PD	APPROVED	JS
1.	REVISED PER VILLAGE COMMENTS	12/19/2017	PD			AS SHOWN	
2.	GENERAL REVISIONS	12/10/2019	PD				
				PROJECT NO:	16237		
				DWG:	16237-D	TAB:	COVER
				DRAWING NO:	9 COVER		
				ZD-1			
Previous Editions Obsolete							

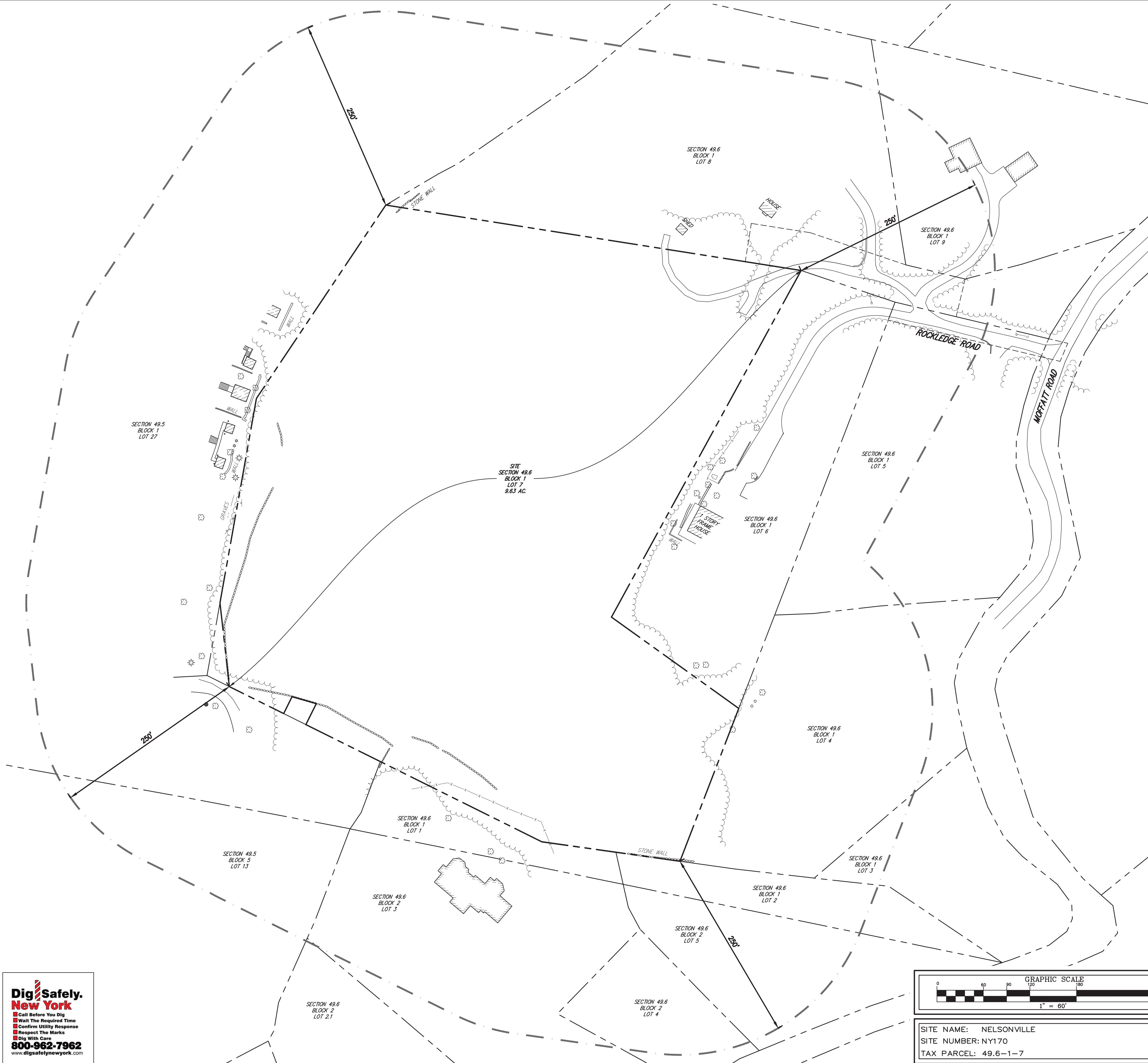


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LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	250' RADIUS

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A DRAWING TITLED "SURVEY OF PROPERTY" PREPARED BY BADEY & WATSON SURVEYING & ENGINEERING, PC, DATED 03/21/2017.
 - SUPPLEMENTAL EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM PUTNAM COUNTY GEOGRAPHIC INFORMATION SYSTEMS. THIS INFORMATION IS APPROXIMATE AND SHOULD BE USED FOR PLANNING PURPOSES ONLY.

PROPERTY OWNERS WITHIN 250' OF SECTION 49.6, BLOCK 1, LOT 7				
SECTION	BLOCK	LOT	PROPERTY OWNER	MAILING ADDRESS
49.6	1	8	RICHARD O VILLELLA AND COURTNEY S TAPLEY	16 ROCK LEDGE RD COLD SPRING, NY 10516
49.6	1	9	JEFF ROSSI AND MELISSA GILLMER	6 ROCKLEDGE RD NELSONVILLE, NY 10516
49.6	1	6	JONATHAN D CHAMPLIN, RAYMOND H CHAMPLIN, AND ANNE T CHAMPLIN	9 ROCKLEDGE RD NELSONVILLE, NY 10516
49.6	1	5	MICHAEL OLSHAKOSKI AND ROSEMARIE OLSHAKOSKI	115 MOFFATT RD NELSONVILLE, NY 10516
49.6	1	4	HAROLD AKSELRAD AND JANUARY AKSELRAD	4683 WALDO AVE BRONX, NY 10471
49.6	1	3	GARY W KUEHNLENZ AND SHARIFAH KUEHNLENZ	89 MOFFATT RD COLD SPRING, NY 10516
49.6	1	2	JULIEN T DAVIES AND DANA CARIN	75 MOFFATT RD COLD SPRING, NY 10516
49.6	2	5	JULIEN T DAVIES AND DANA CARIN	75 MOFFATT RD COLD SPRING, NY 10516
49.6	2	4	SUSAN BARRETT CASEMENT	65 MOFFATT RD COLD SPRING, NY 10516
49.6	1	1	WILLIAM L HARRIS AND JOANNE SIMON	61 MOFFATT RD NELSONVILLE, NY 10516
49.6	2	3	WILLIAM L HARRIS AND JOANNE SIMON	61 MOFFATT RD NELSONVILLE, NY 10516
49.6	2	2.1	FREDERICK A ZENZ AND ELIZABETH ZENZ	P.O. BOX 49 COLD SPRING, NY 10516
49.5	5	13	COLD SPRING CEMETARY	PEEKSKILL RD NELSONVILLE, NY 10516
49.5	1	27	COLD SPRING CEM TRSTES	P.O. BOX 188 COLD SPRING, NY 10516

- NOTES:**
- TAX PARCEL DATA INCLUDING PROPERTY OWNER AND ADDRESS WERE OBTAINED FROM THE PUTNAM COUNTY GEOGRAPHIC INFORMATION SYSTEMS "IMAGE MATE ONLINE".

LOCAL, STATE, AND FEDERAL PARKLANDS WITHIN 1/2 MILE OF SITE			
S-B-L	NAME	PROPERTY OWNER	MAILING ADDRESS
38.17-1-3	HUDSON HIGHLANDS STATE PARK	VILLAGE OF NELSONVILLE	258 MAIN ST NELSONVILLE, NY 10516

- NOTES:**
- TAX PARCEL DATA INCLUDING PROPERTY OWNER AND ADDRESS WERE OBTAINED FROM THE PUTNAM COUNTY GEOGRAPHIC INFORMATION SYSTEMS "IMAGE MATE ONLINE".

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GRAPHIC SCALE 0 60 90 120 150 180 210 240 270 300 1" = 60'	
SITE NAME: NELSONVILLE SITE NUMBER: NY170 TAX PARCEL: 49.6-1-7	

NO.	REVISION	DATE	BY	PD	APPROVED	JS
1.	REVISED PER VILLAGE COMMENTS	12/19/2017	PD			
2.	GENERAL REVISIONS	12/10/2019	PD			
Previous Editions Obsolete						

HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CT 06810

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JMC Site Development Consultants, LLC
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JMC

SITE ABUTTERS PLAN
HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

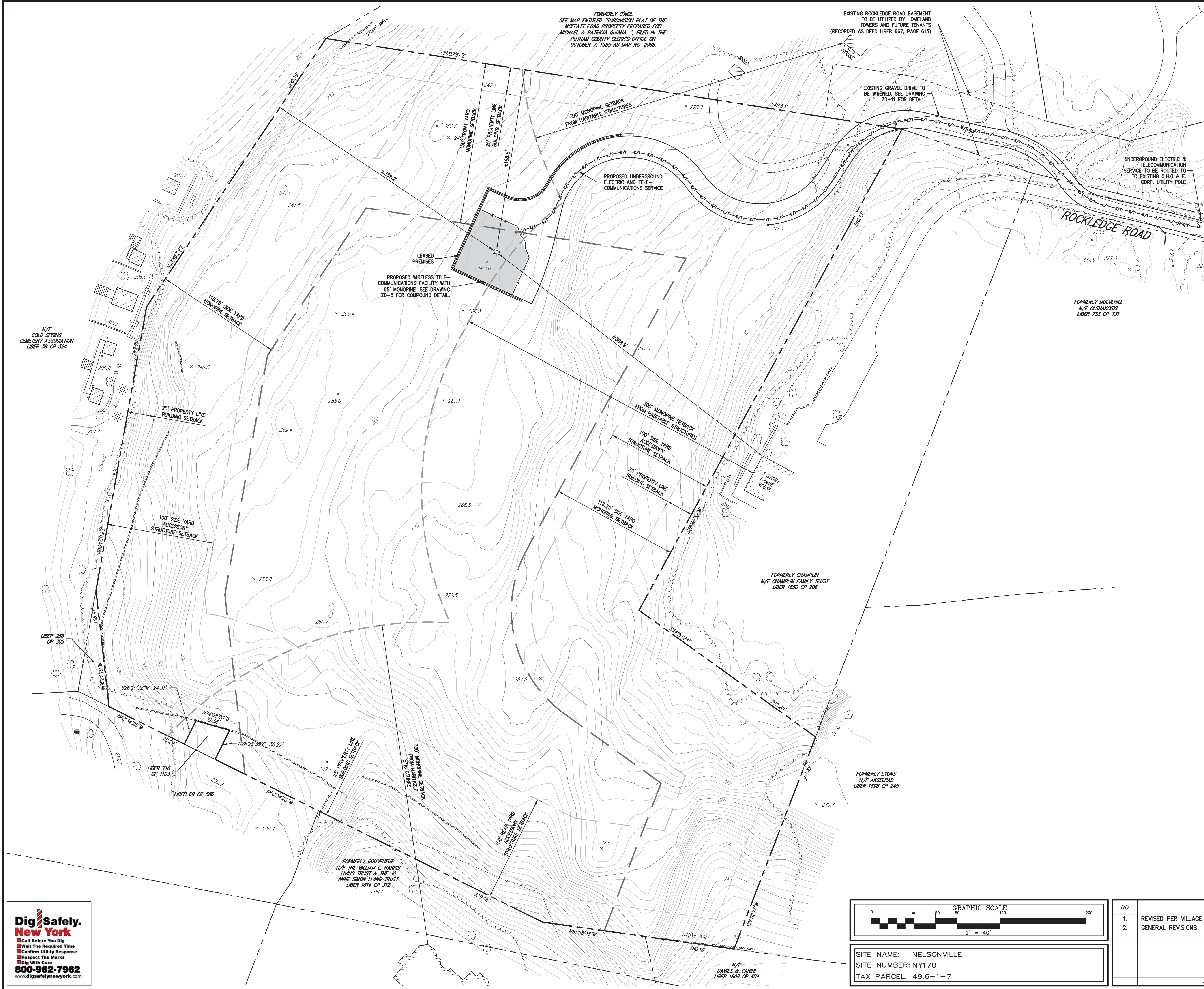
STATE OF NEW YORK
DAVID P. LOMBARDI
REGISTERED PROFESSIONAL ENGINEER
071001

1" = 60'
DATE: 07/11/2017
PROJECT NO: 16237
DWG: 16237-D
TAR: ABUTTERS
SOP: O_ABUTTERS
DRAWING NO: **ZD-2**

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LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE
- EXISTING UTILITY POLE
- EXISTING OVERHEAD WIRES
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING STONE WALL
- EXISTING BUILDING SETBACK
- EXISTING MONOPOLE SETBACK
- EXISTING HABITABLE STRUCTURE SETBACK
- PROPOSED CONCRETE CURB
- PROPOSED FENCE

NOTES:

- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A DRAWING TITLED "SURVEY OF PROPERTY" PREPARED BY BADEY & WATSON SURVEYING & ENGINEERING, PC, DATED 03/21/2017.
- SUPPLEMENTAL EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM PUTNAM COUNTY GEOGRAPHIC INFORMATION SYSTEMS. THIS INFORMATION IS APPROXIMATE AND SHOULD BE USED FOR PLANNING PURPOSES ONLY.

GENERAL SITE NOTES:

- SUBJECT PROPERTY IS KNOWN AS SECTION 49.6, BLOCK 1, LOT 7 AS SHOWN ON A TAX PARCEL MAP GENERATED BY PUTNAM COUNTY GEOGRAPHIC INFORMATION SYSTEMS.
- ZONING CLASSIFICATION IS MR - MOUNTAIN RESIDENTIAL.

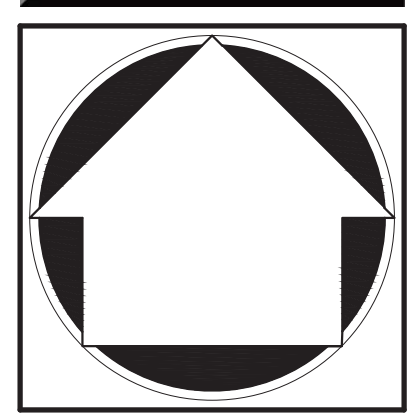
APPLICANT: HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CT 06810

PROPERTY OWNER: DOUGLAS W. LOGAN
P.O. BOX 188
COLD SPRING, NY 10516

- THE PROPOSED USE IS FOR WIRELESS TELECOMMUNICATIONS. THE SITE IS NOT INTENDED FOR PERMANENT EMPLOYEE OCCUPANCY AND THEREFORE, POTABLE WATER SUPPLY AND SANITARY SEWER FACILITIES ARE NOT REQUIRED OR PROPOSED.
- THE FACILITY SHALL BE VISITED ON AVERAGE, ONCE A MONTH FOR MAINTENANCE AND SHALL BE CONTINUOUSLY MONITORED FROM A REMOTE FACILITY 24 HOURS A DAY, 7 DAYS A WEEK.
- THE APPLICANT'S EQUIPMENT IS REMOTELY OPERATED AND CONTROLLED, AND AS SUCH IS NORMALLY UNMANNED. COMPUTERIZED EQUIPMENT AND FACILITY ALARM SYSTEMS CONTINUOUSLY MONITOR AN EXTENSIVE NUMBER OF OPERATIONAL AND SHELTER FUNCTIONS.
- ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - A. CURRENT PREVAILING MUNICIPAL AND/OR STATE SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
 - B. CURRENT PREVAILING UTILITY COMPANY AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
- THERE WILL NOT BE ANY CHANGES IN EXISTING DRAINAGE PATTERNS TO THE MAXIMUM EXTENT PRACTICABLE.
- THERE ARE NO COMMERCIAL SIGNS PROPOSED FOR ANY ASPECT OF THE USE.
- THE PROPOSED FACILITY IS UNMANNED AND WILL NOT GENERATE ANY ADDITIONAL NOISE ABOVE AMBIENT LEVELS AT THE PROPERTY LINE, DUST, FUMES, ODORS OR VIBRATIONS.
- THERE ARE NO COMMERCIAL SIGNS PROPOSED FOR THE PROJECT.
- TWO PARKING SPACES ARE PROPOSED AS PART OF THIS PROJECT. THE SPACE IS TO BE USED BY SERVICE TECHNICIANS DURING MAINTENANCE VISITS.
- ANY LIGHTING PROPOSED BY TENANT/CARRIER EQUIPMENT SPECIFICATIONS SHALL CONFORM TO TOWN CODE REQUIREMENTS, BE CONTROLLED BY A MANUAL TIMER, AND NOT SPILL ONTO ADJACENT PROPERTIES. SEE DETAIL No. 22 ON ZD-10.

HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CT 06810

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voice 914.273.5225 • fax 914.273.2102
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OVERALL SITE PLAN
HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

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STATE OF NEW YORK
DAVID P. LOMBARDI
REGISTERED PROFESSIONAL ENGINEER
071001

REVISION

NO.	REVISION	DATE	BY
1.	REVISED PER VILLAGE COMMENTS	12/19/2017	PD
2.	GENERAL REVISIONS	12/10/2019	PD

SCALE: 1" = 40'

DATE: 07/11/2017

PROJECT NO.: 16237

DWG.: 16237-D
TAB.: OSP
SOP.: 1, OSP

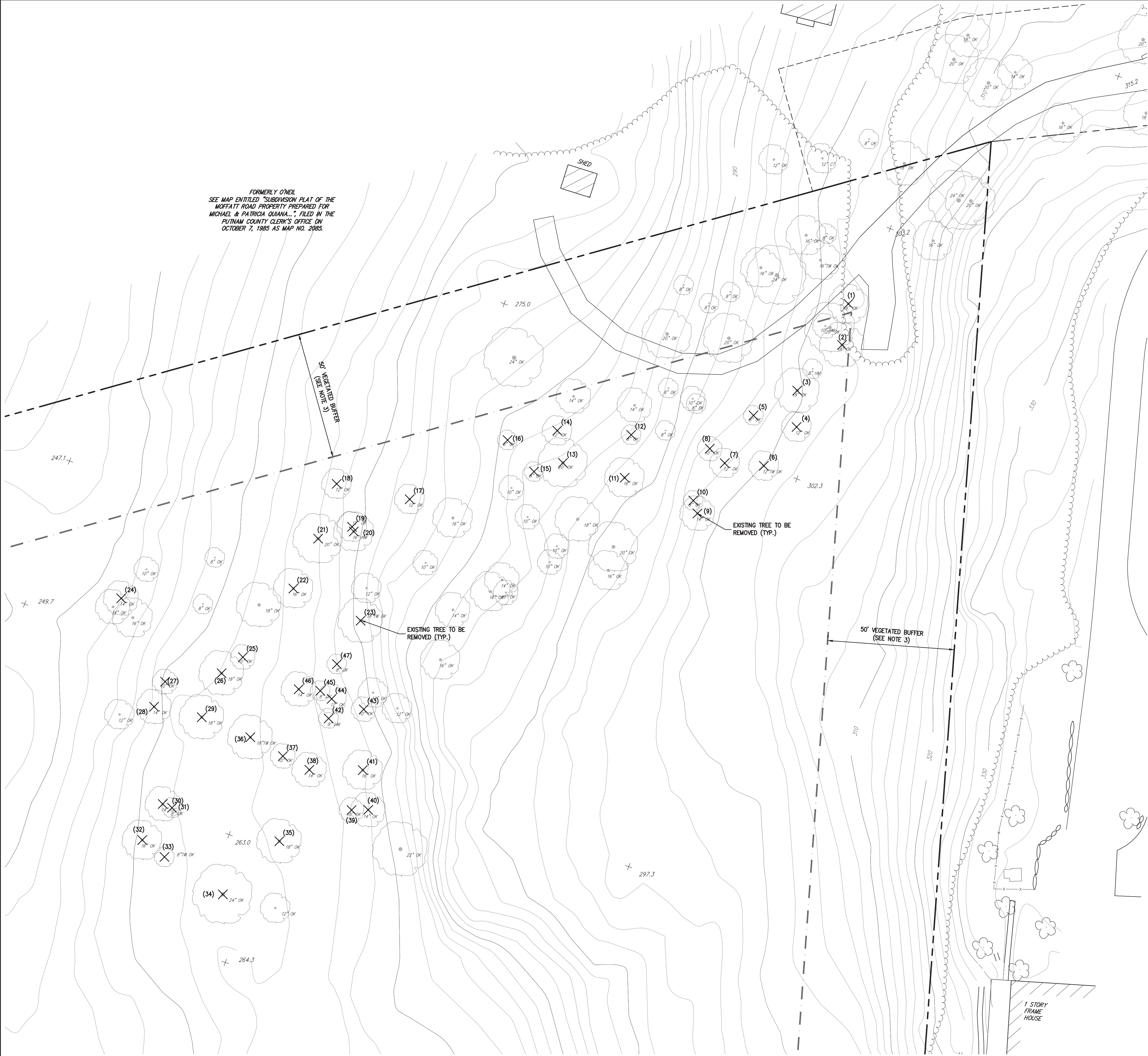
DRAWING NO.: ZD-3

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LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE
- EXISTING UTILITY POLE
- EXISTING OVERHEAD WIRES
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- EXISTING STONE WALL

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A DRAWING TITLED "SURVEY OF PROPERTY" PREPARED BY BADEY & WATSON SURVEYING & ENGINEERING, PC, DATED 03/21/2017.
 - SUPPLEMENTAL EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM PUTNAM COUNTY GEOGRAPHIC INFORMATION SYSTEMS. THIS INFORMATION IS APPROXIMATE AND SHOULD BE USED FOR PLANNING PURPOSES ONLY.
 - AS PART OF THIS APPLICATION, 47 TREES ARE PROPOSED TO BE REMOVED. THE TREES PROPOSED TO BE REMOVED ARE IN THE COMPOUND AND ACCESS DRIVE AREAS, AS WELL AS AREAS OF SIGNIFICANT EARTHWORK. PURSUANT TO VILLAGE CODE 160-71.0(6)(a), TREES WITHIN FIFTY FEET OF THE PROPERTY LINE WILL BE PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE.

TREE REMOVAL TABLE									
ID NUMBER	ABBREVIATION	SPECIES	SIZE	HEALTH CONDITION	ID NUMBER	ABBREVIATION	SPECIES	SIZE	HEALTH CONDITION
1	OK	OAK	16"	GOOD	25	OK	OAK	10"	GOOD
2	OK	OAK	18"	GOOD	26	OK	OAK	18"	GOOD
3	OK	OAK	18"	GOOD	27	OK	OAK	10"	GOOD
4	OK	OAK	12"	GOOD	28	OK	OAK	14"	GOOD
5	OK	OAK	8"	GOOD	29	OK	OAK	18"	GOOD
6	OK	OAK	12" TW	GOOD	30	OK	OAK	14"	GOOD
7	OK	OAK	12"	GOOD	31	OK	OAK	8"	GOOD
8	OK	OAK	10"	GOOD	32	OK	OAK	16"	GOOD
9	OK	OAK	14"	GOOD	33	OK	OAK	8" TW	GOOD
10	OK	OAK	8"	GOOD	34	OK	OAK	24"	GOOD
11	OK	OAK	16"	GOOD	35	OK	OAK	18"	GOOD
12	OK	OAK	8"	GOOD	36	OK	OAK	18" TW	GOOD
13	OK	OAK	20"	GOOD	37	OK	OAK	10"	GOOD
14	OK	OAK	12"	GOOD	38	OK	OAK	14"	GOOD
15	OK	OAK	8"	GOOD	39	OK	OAK	10"	GOOD
16	OK	OAK	8"	GOOD	40	OK	OAK	14"	GOOD
17	OK	OAK	12"	GOOD	41	OK	OAK	16"	GOOD
18	OK	OAK	12"	GOOD	42	HM	HEMLOCK	8"	GOOD
19	OK	OAK	12"	GOOD	43	OK	OAK	10"	GOOD
20	HM	HEMLOCK	16"	GOOD	44	OK	OAK	12"	GOOD
21	OK	OAK	20"	GOOD	45	OK	OAK	8"	GOOD
22	OK	OAK	16"	GOOD	46	OK	OAK	14"	GOOD
23	OK	OAK	18" TW	GOOD	47	OK	OAK	8"	GOOD
24	OK	OAK	14"	GOOD					

GRAPHIC SCALE
0 20 30 40 50 60 70 80 90 100
1" = 20'

SITE NAME: NELSONVILLE
SITE NUMBER: NY170
TAX PARCEL: 49.6-1-7

NO.	REVISION	DATE	BY
1.	REVISED PER VILLAGE COMMENTS	12/19/2017	PD
2.	GENERAL REVISIONS	12/10/2019	PD

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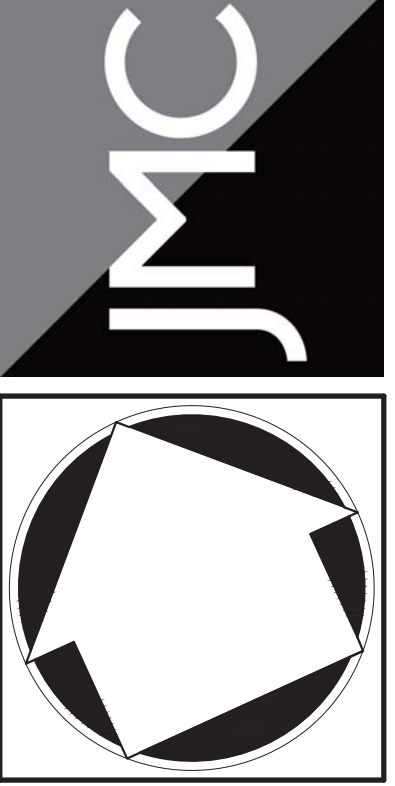
STATE OF NEW YORK
DAVID P. LOMBARDI
LICENSED PROFESSIONAL ENGINEER
071001

16237-ZD
2, TRP

ZD-4

TREE REMOVAL PLAN

HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY



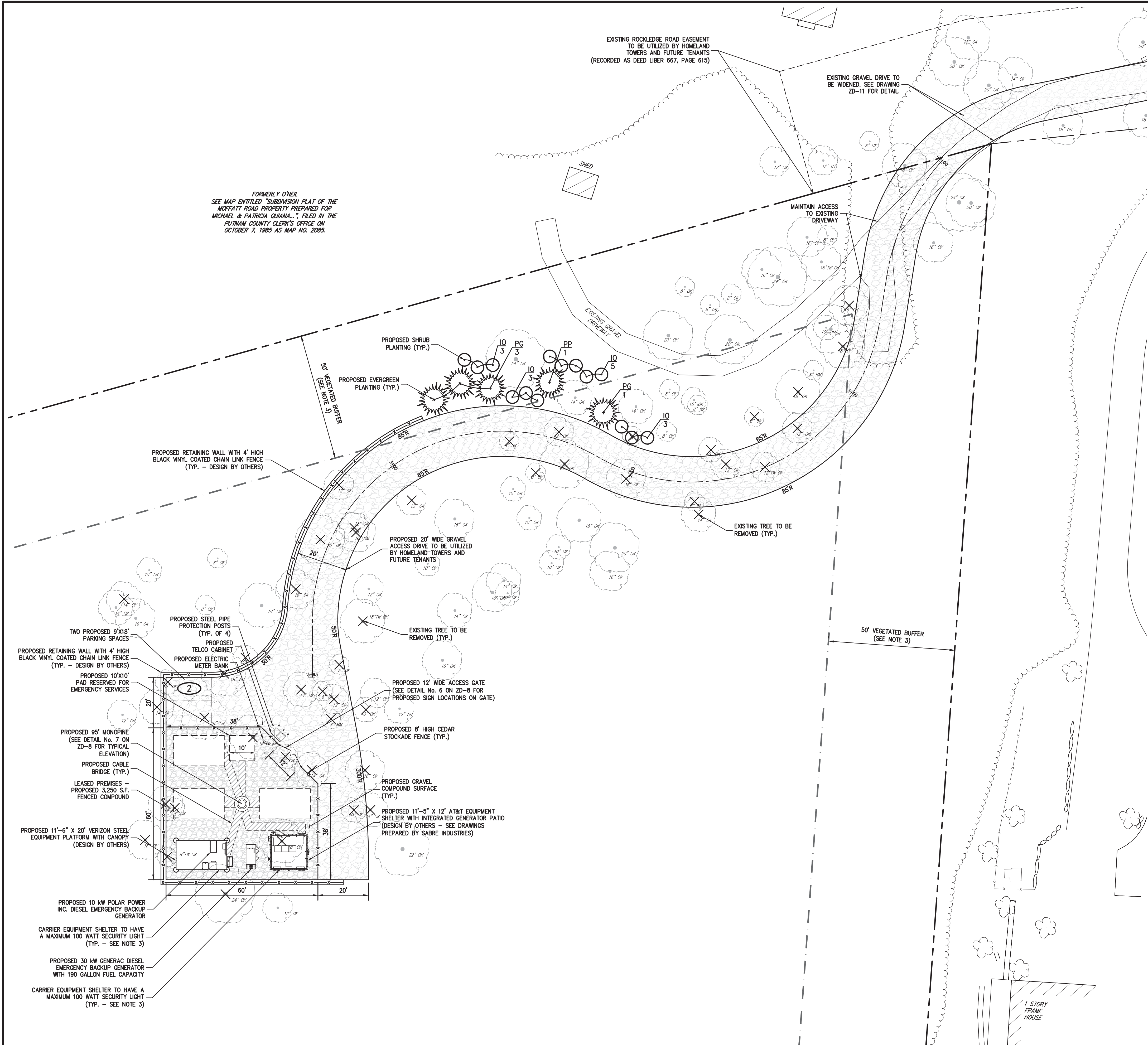
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JMC Site Development Consultants, LLC
John Meyer Consulting, Inc.
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voice 914.273.5225 • fax 914.273.2102
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HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
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LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING BUILDING LINE
- PROPOSED GRAVEL COMPOUND SURFACE
- PROPOSED GRAVEL ACCESS DRIVE SURFACE
- PROPOSED CABLE BRIDGE
- PROPOSED FENCE
- PROPOSED CONCRETE CURB
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED STEEL PROTECTION POST
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- PROPOSED EVERGREEN PLANTING
- PROPOSED SHRUB PLANTING

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A DRAWING TITLED "SURVEY OF PROPERTY" PREPARED BY BADEY & WATSON SURVEYING & ENGINEERING, PC, DATED 03/21/2017.
 - FINAL UNDERGROUND ELECTRIC AND TELECOMMUNICATIONS SERVICE ROUTING TO BE DETERMINED AFTER CONSULTING WITH PROVIDER.
 - ANY LIGHTING REQUIRED BY TENANT/CARRIER EQUIPMENT SPECIFICATIONS SHALL CONFORM TO VILLAGE CODE REQUIREMENTS, BE CONTROLLED BY A MANUAL TIMER, AND FACE DOWNWARD SO AS TO NOT SPILL ONTO ADJACENT PROPERTIES.

PLANT SCHEDULE						
SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT CONDITION	COMMENTS
TREES						
PG	4	PICEA GLAUCA	WHITE SPRUCE	8'-10' HT	B&B	X
PP	1	PICEA PUNGENS 'GLAUCA'	COLORADO BLUE SPRUCE	8'-10' HT	B&B	X
SHRUBS						
IO	14	ILEX OPACA	AMERICAN HOLLY	5'-6' HT	B&B	X

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Cell Site # _____
To Report An Emergency, Specify the Cell Site Number above and Call The Network Operations Control Center at:

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No Trespassing
Violators Will Be Prosecuted To The Full Extent Of The Law.
(WHITE METAL SIGN WITH BLACK LETTERING)

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Radio frequency (RF) emissions may exceed FCC Standards for general public exposure. Only authorized workers permitted to enter.
For more information, please call 1-888-363-6833 and reference Site Number: 2017002004.
Do not stand in front of antennas.
Do not touch antennas.
Do not touch antennas.
(WHITE METAL SIGN WITH BLACK LETTERING)

SIGN 'B'

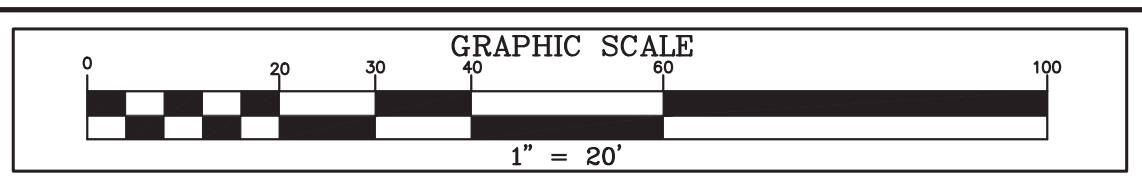
SIGN 'A'

SIGN 'C'

(WHITE SIGN W/BLACK AND WHITE LOGO AND RED LETTERING)

- NOTES:**
- SEE DETAIL No. 6 ON DRAWING ZD-8 FOR SIGN POSITIONING ON GATE.

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SITE NAME: NELSONVILLE
SITE NUMBER: NY170
TAX PARCEL: 49.6-1-7

NO.	REVISION	DATE	BY
1.	ADDED TREE REMOVAL AND EQUIPMENT SPECIFICATIONS	10/02/2017	PD
2.	REVISED PER VILLAGE COMMENTS	12/19/2017	PD
3.	GENERAL REVISIONS	12/10/2019	PD

DATE	BY
10/02/2017	PD
12/19/2017	PD
12/10/2019	PD



SITE LAYOUT AND LANDSCAPING PLAN
HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

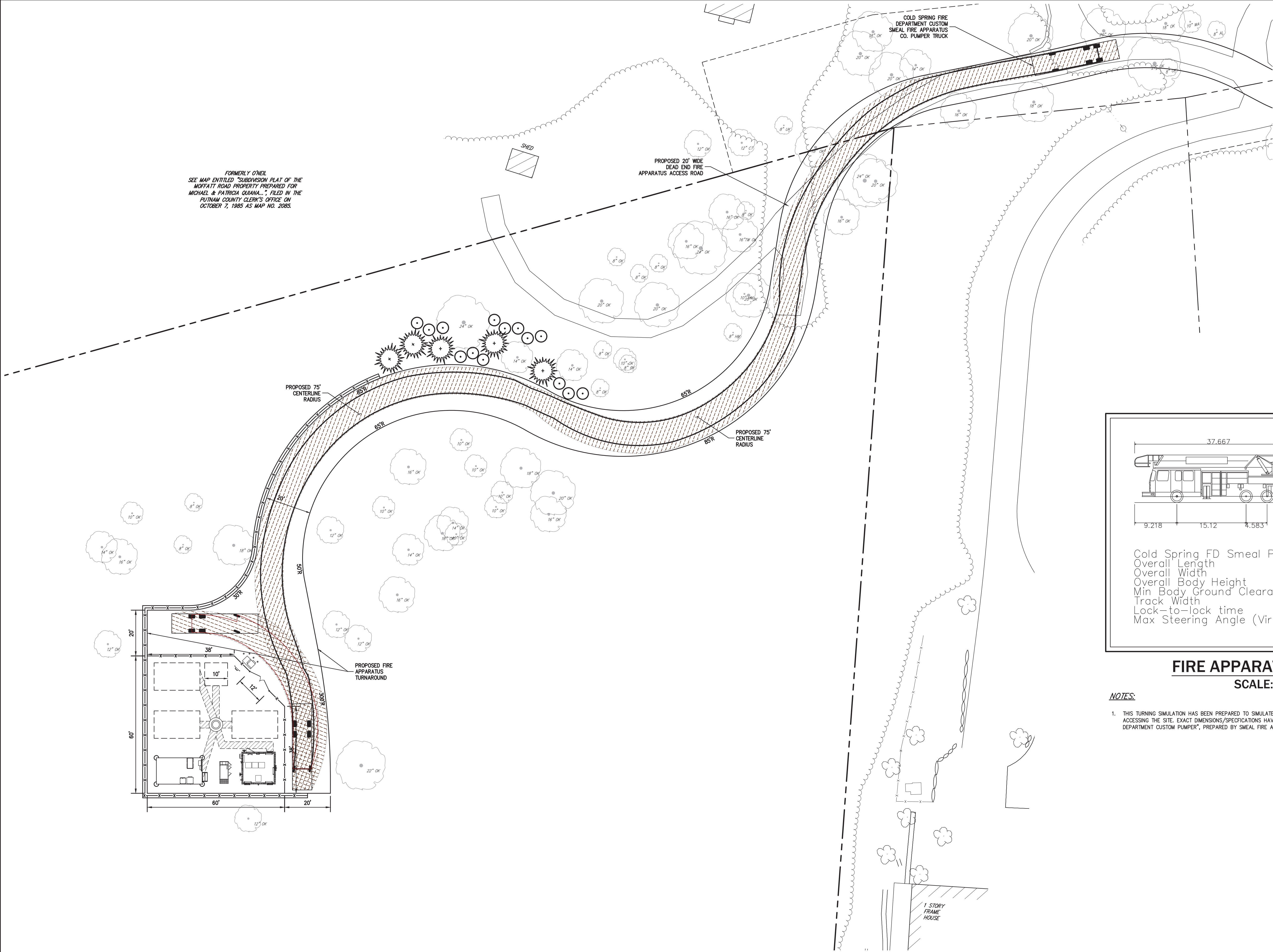
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FORMERLY O'NEIL
SEE MAP ENTITLED "SUBDIVISION PLAT OF THE
MOFFATT ROAD PROPERTY PREPARED FOR
MICHAEL & PATRICIA QUANA...", FILED IN THE
PUTNAM COUNTY CLERK'S OFFICE ON
OCTOBER 7, 1985 AS MAP NO. 2085.

PROPOSED 20' WIDE
DEAD END FIRE
APPARATUS ACCESS ROAD

COLD SPRING FIRE
DEPARTMENT CUSTOM
SMEAL FIRE APPARATUS
CO. PUMPER TRUCK

PROPOSED 75'
CENTERLINE
RADIUS

PROPOSED 75'
CENTERLINE
RADIUS

PROPOSED FIRE
APPARATUS
TURNAROUND

1 STORY
FRAME
HOUSE

LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING BUILDING LINE
- PROPOSED GRAVEL COMPOUND SURFACE
- PROPOSED GRAVEL ACCESS DRIVE SURFACE
- PROPOSED CABLE BRIDGE
- PROPOSED FENCE
- PROPOSED CONCRETE CURB
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED STEEL PROTECTION POST
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- PROPOSED EVERGREEN PLANTING
- PROPOSED SHRUB PLANTING

NOTES:
1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN
TYPICAL FROM AERIAL PHOTOGRAPHS AND FIELD SURVEY.

Cold Spring FD Smeal Pumper
Overall Length 37.667ft
Overall Width 8.500ft
Overall Body Height 10.388ft
Min Body Ground Clearance 0.819ft
Track Width 7.753ft
Lock-to-lock time 4.00s
Max Steering Angle (Virtual) 33.00°

FIRE APPARATUS PROFILE
SCALE: N.T.S.

NOTES:
1. THIS TURNING SIMULATION HAS BEEN PREPARED TO SIMULATE THE COLD SPRING FIRE DEPARTMENT'S LARGEST APPARATUS ACCESSING THE SITE. EXACT DIMENSIONS/SPECIFICATIONS HAVE BEEN TAKEN FROM A DRAWING TITLED "COLD SPRING FIRE DEPARTMENT CUSTOM PUMPER", PREPARED BY SMEAL FIRE APPARATUS CO., DATED 01/30/2009.

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GRAPHIC SCALE
0 20 40 60 80 100
1" = 20'

SITE NAME: NELSONVILLE
SITE NUMBER: NY170
TAX PARCEL: 49.6-1-7

NO.	REVISION	DATE	BY	PD	APPROVED	JS
1.	REVISED PER VILLAGE COMMENTS	12/19/2017	PD			
2.	GENERAL REVISIONS	12/10/2019	PD			

SCALE: 1" = 20'
DATE: 07/11/2017
PROJECT NO: 16237
DWG: 16237-2D
TAR: TTP
SOP: 2_LAYOUT
DRAWING NO: ZD-6

Previous Editions Obsolete

HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CT 06810

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JMC

FIRE APPARATUS ACCESS PLAN
HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

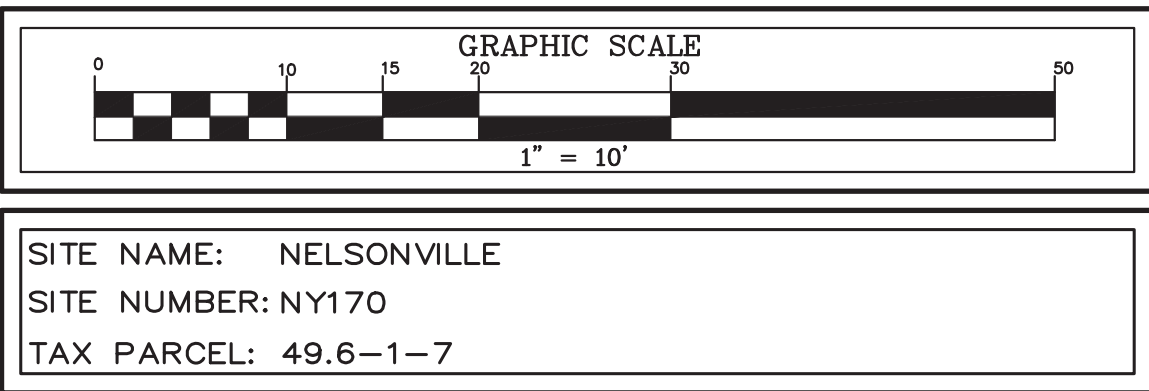
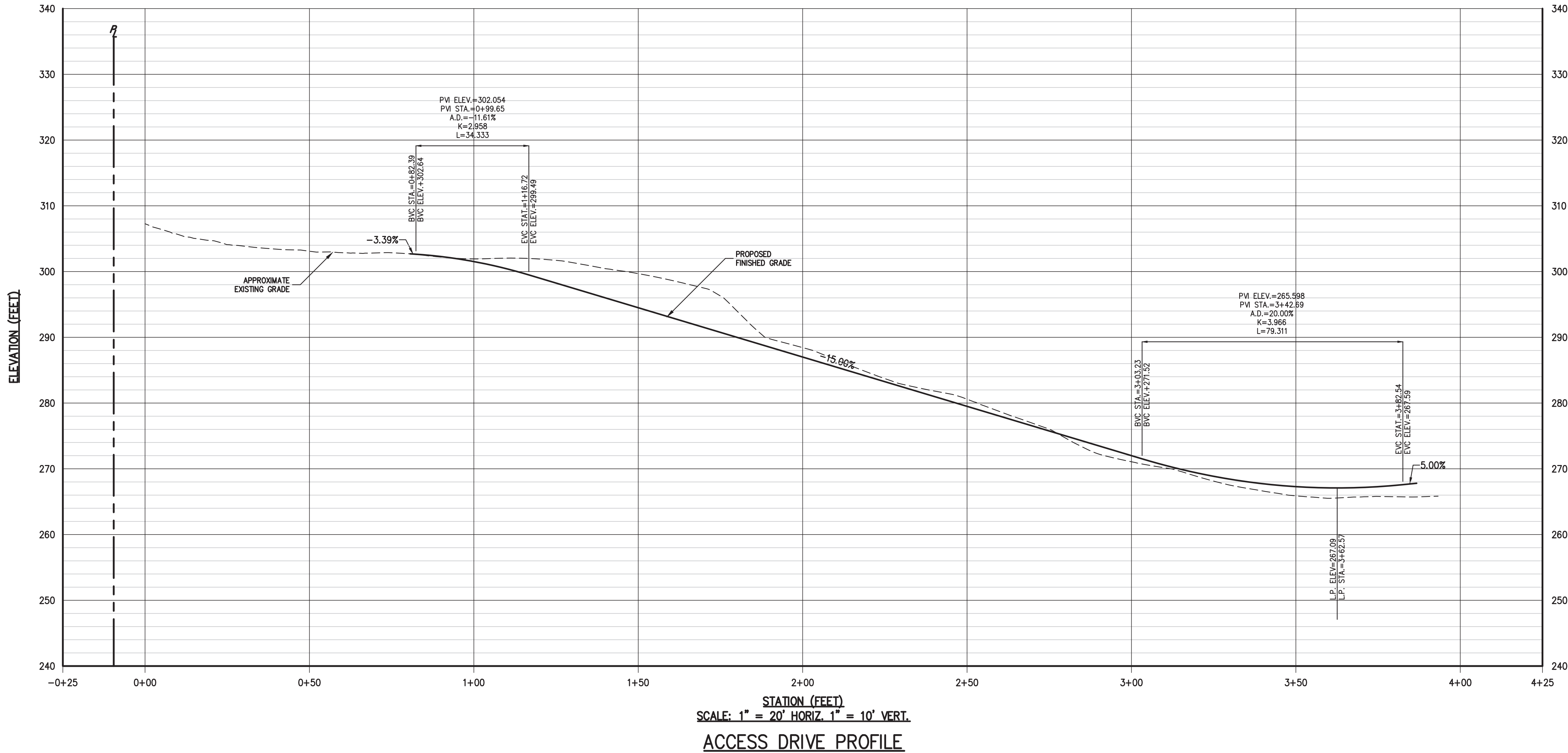
STATE OF NEW YORK
DAVID P. LOMBARDI
LICENSED PROFESSIONAL ENGINEER
071001

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NO.	REVISION	DATE	BY
1.	REVISED PER VILLAGE COMMENTS	12/19/2017	PD
2.	GENERAL REVISIONS	12/10/2019	PD

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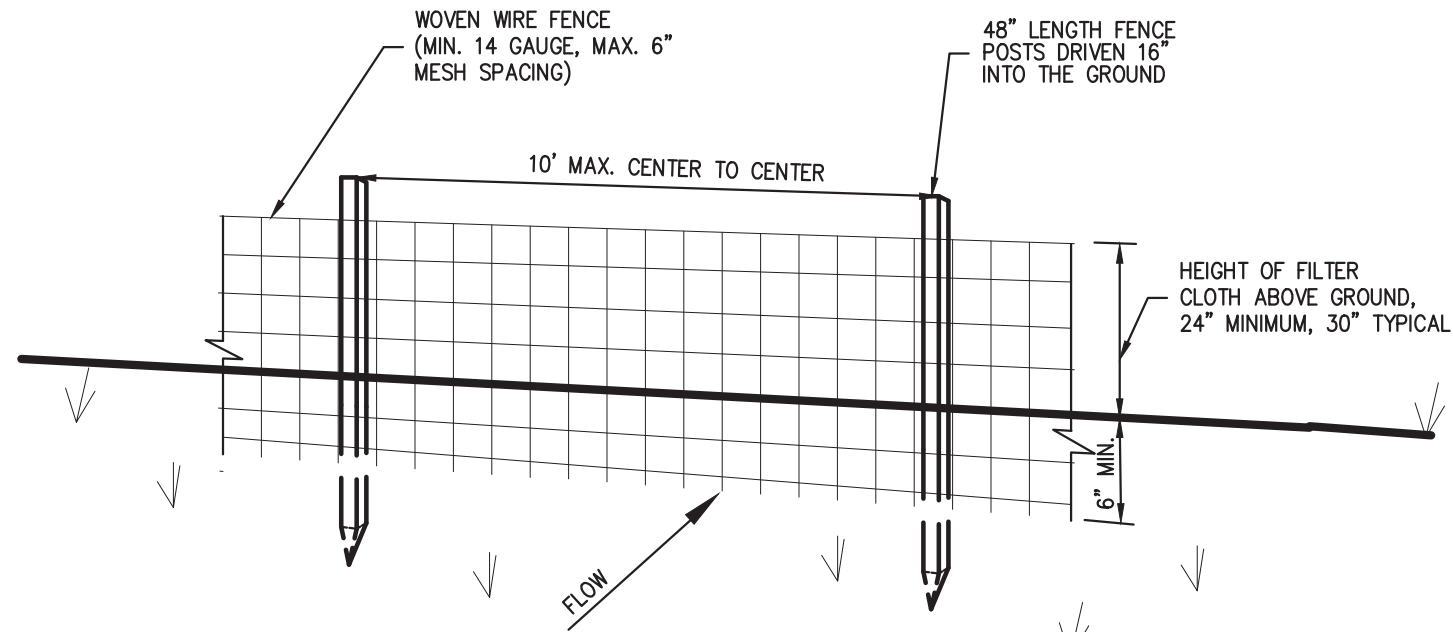


DRAWN: PD	APPROVED: JS
SCALE: AS SHOWN	DATE: 07/11/2017
PROJECT NO: 16237	DWG: 16237-2D
TAB: PROFILE	SOP: 3.00-UTIL-SE
DRAWING NO: ZD-7A	

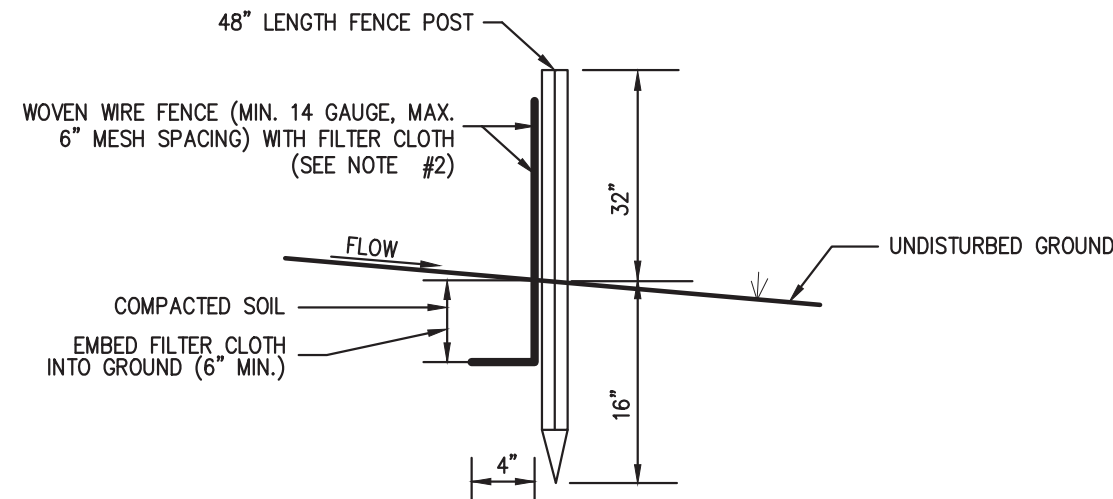


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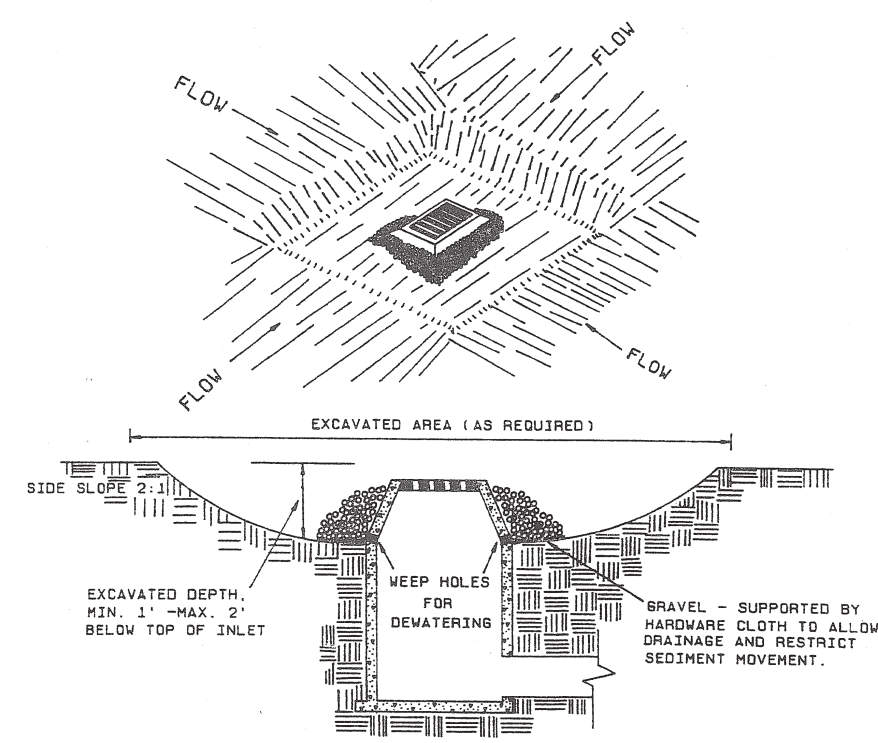


PERSPECTIVE VIEW

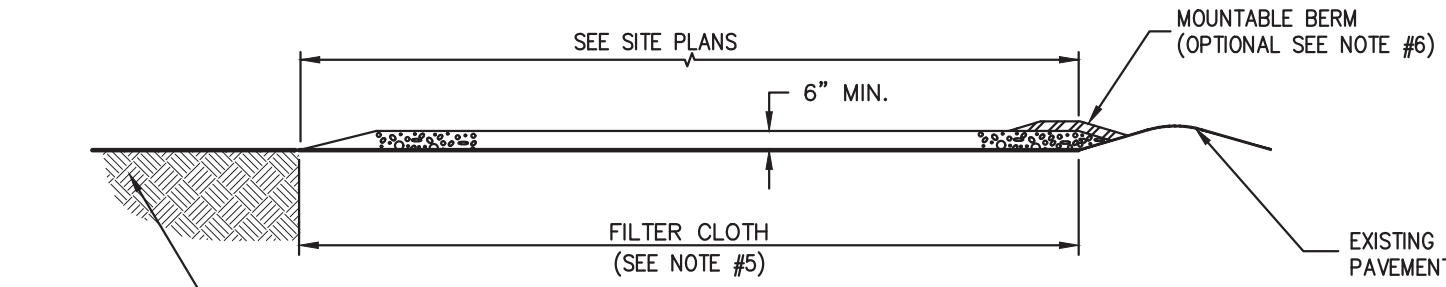


SECTION

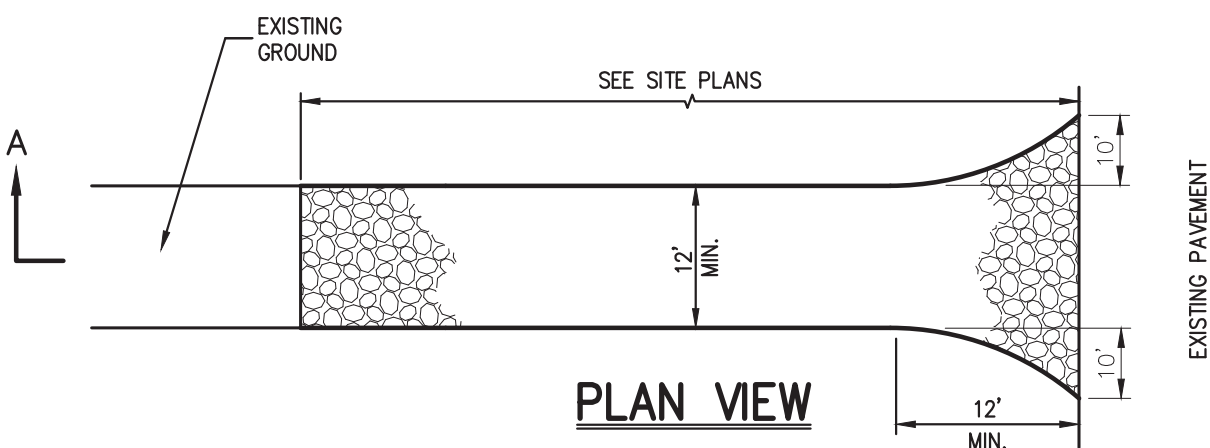
- NOTES:
- WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T100N, OR APPROVED EQUAL.
 - PREFABRICATED UNITS SHALL BE GEOTAB, ENVROFENCE, OR APPROVED EQUAL.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



- CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION.
- GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN.
- WEEP HOLES SHALL BE PROTECTED BY/STONE.
- PROVIDE FREQUENT INSPECTION AND MAINTENANCE. REMOVE ACCUMULATED SEDIMENT AND REPAIR OR REPLACE INLET PROTECTION TO MAINTAIN EFFECTIVENESS OF THE INSTALLATION.
- UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES FILL BASIN WITH STABLE SOIL TO FINAL GRADE. COMPACT IT PROPERLY AND STABILIZE WITH PERMANET SEEDING.

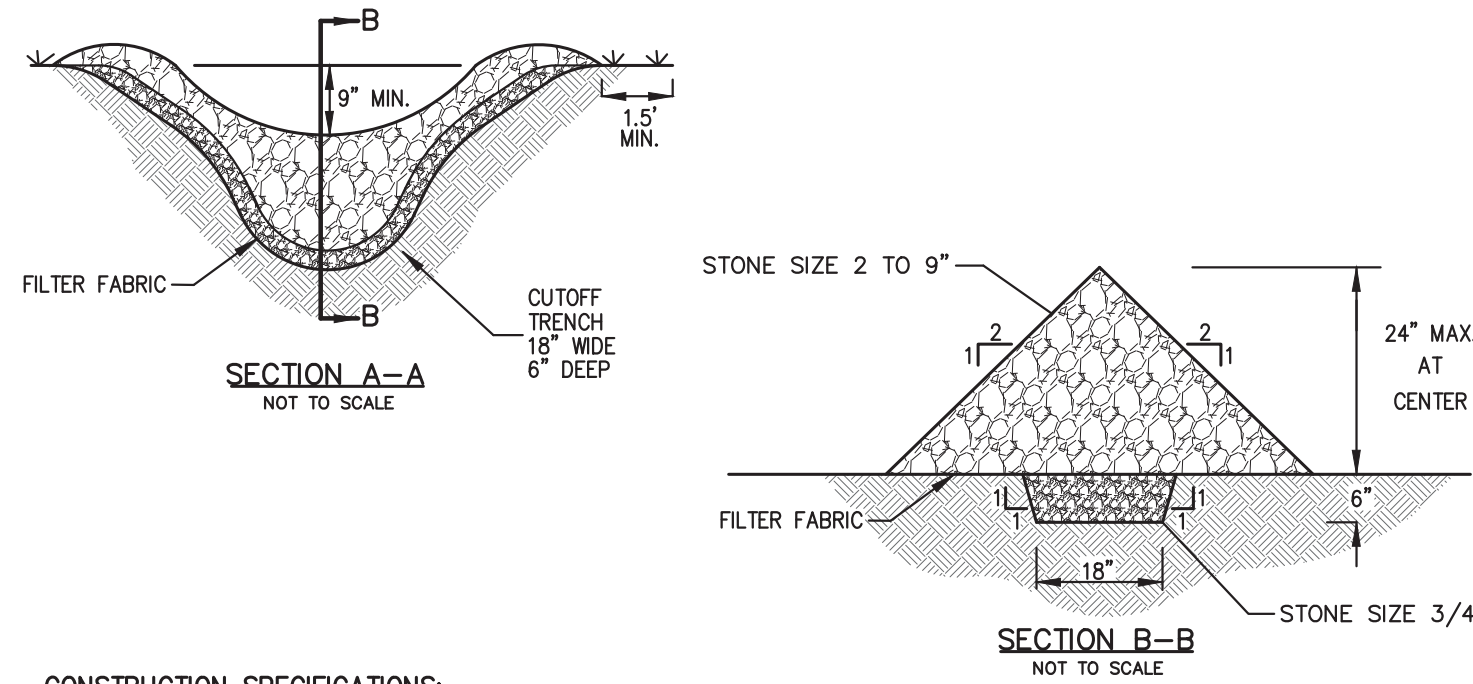
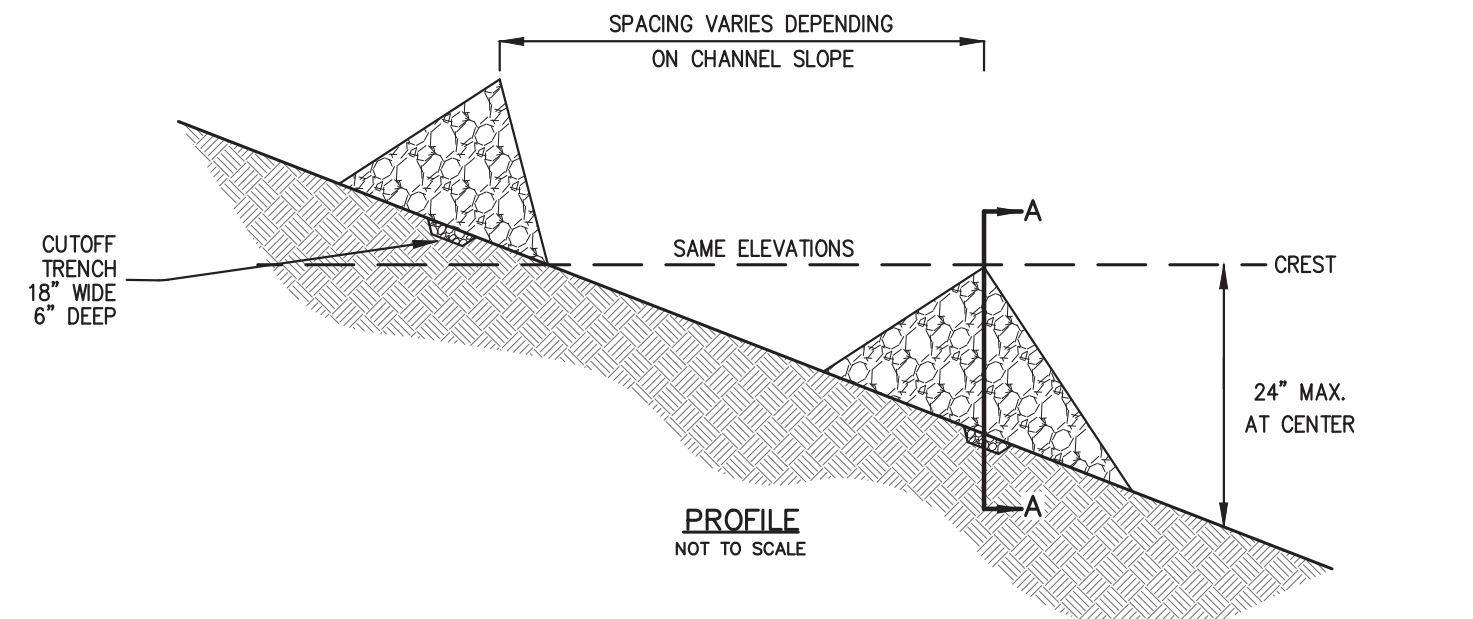


SECTION A-A



PLAN VIEW

- NOTES
- STONE SIZE - USE 1" TO 4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - FILTER CLOTH TO BE PLACED OVER THE ENTIRE WIDTH AND LENGTH OF AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



CONSTRUCTION SPECIFICATIONS:

- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
- SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
- EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANK TO PREVENT CUTTING AROUND THE DAM.
- PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
- ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.

MAXIMUM DRAINAGE AREA 2 ACRES.

SILT FENCE

1

EXCAVATED DROP INLET PROTECTION

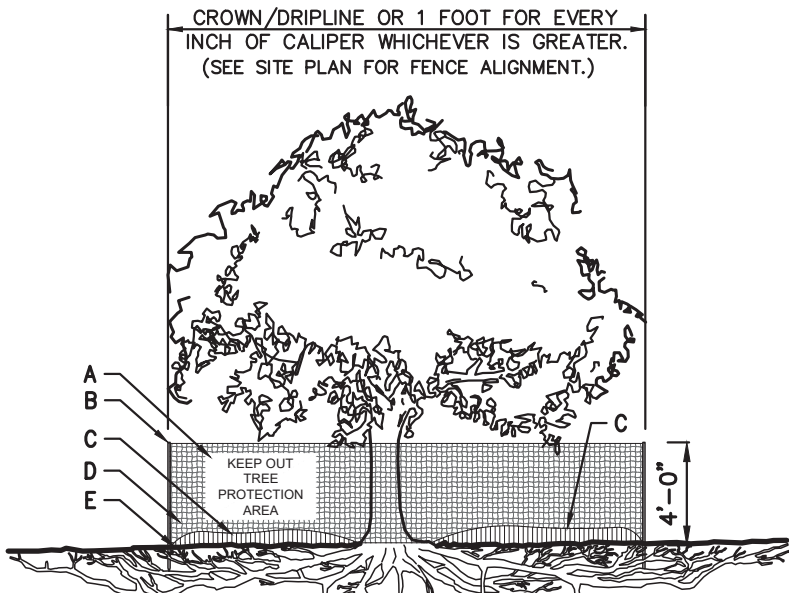
2

STABILIZED CONSTRUCTION ACCESS

3

STONE CHECK DAM

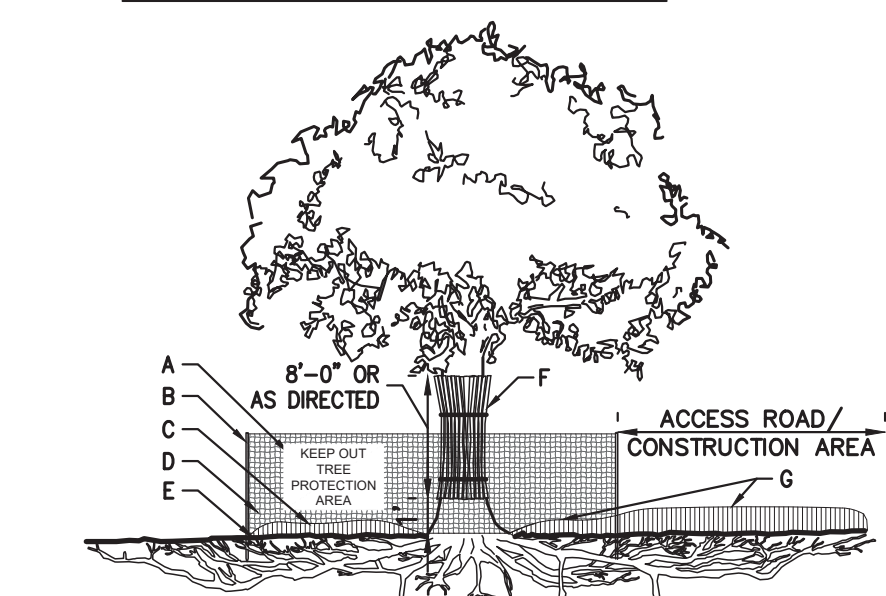
4



TREE PROTECTION (DRIPLINE FENCE)

A	8.5"x11" SIGN LAMINATED IN PLASTIC SPACED EVERY 50' ALONG FENCE
B	2"x8" STEEL POSTS OR APPROVED EQUAL
C	5" THICK LAYER OF MULCH
D	TREE PROTECTION FENCE: HIGH DENSITY POLYETHYLENE FENCING WITH 3.5" X 1.5" OPENINGS, COLOR ORANGE. STEEL POSTS INSTALLED AT 8' O.C.
E	MAINTAIN EXISTING GRADE WITHIN THE TREE PROTECTION FENCE UNLESS OTHERWISE INDICATED ON THE PLANS
F	INSTALL ROUGH SAWN WOOD WHERE AND AS DIRECTED BY PROJECT LANDSCAPE ARCHITECT OR PROFESSIONAL ARBORIST. SEE CHART FOR WOOD SIZE BOUND WITH 9 GAUGE WIRE.
G	8"-12" THICK LAYER OF MULCH ON MAINTENANCE ROAD. 5" THICK LAYER INSIDE TREE PROTECTION AREA.

TREE DIAMETER	ROUGH SAWN WOOD SIZE
<12"	2"x2"
13"-24"	2"x4"
>25"	2"x6"



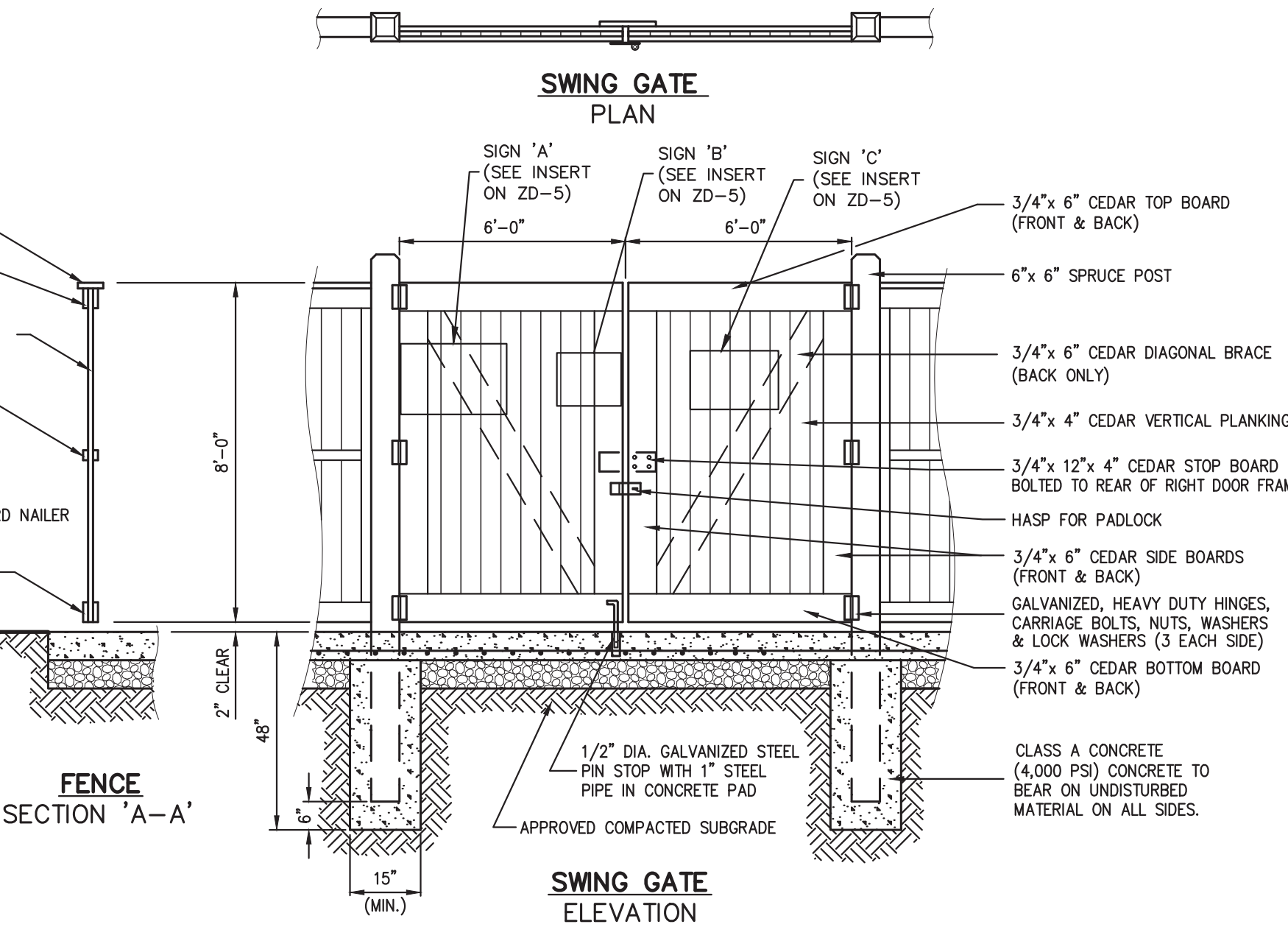
TREE PROTECTION W/ ACCESS ROAD/CONSTRUCTION AREA (DRIPLINE FENCE)

- NOTES:
- SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
 - IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
 - NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
 - NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 - SEE SITE PLANS FOR IDENTIFICATIONS/LOCATIONS OF INDIVIDUAL TREES TO BE PROTECTED.
 - ALL EXCAVATION WITHIN THE CROWN/DRIPLINE OF ANY TREE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE PROJECT LANDSCAPE ARCHITECT OR PROFESSIONAL ARBORIST. SPECIAL MEASURES, SUCH AS THE USE OF AN AIR SPADE MAY BE REQUIRED.
 - THE CONTRACTOR MAY PROPOSE THE USE OF ENGINEERED MATTING OR OTHER ENGINEERED PRODUCTS IN LIEU OF MULCH, WHICH SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF ALL AUTHORITIES HAVING JURISDICTION.

TREE PROTECTION

5

CEDAR STOCKADE FENCE WITH ACCESS GATE



- NOTES:
- METAL FLANGES, CLEATS, BOLTS, SCREWS, ETC. SHALL BE STAINLESS STEEL OR GALVANIZED STEEL.
 - ALL LUMBER TO BE PRESSURE TREATED WITH WOOD PRESERVATIVE FOR IN GROUND USE. ALL LUMBER TO BE #1 GRADE.
 - SEE SITE LAYOUT AND LANDSCAPING PLAN FOR LOCATION.
 - FENCE POSTS SHALL BE SPACED NOT MORE THAN 8' ON CENTER.

FENCE ELEVATION

SWING GATE ELEVATION

6

ANTENNA ELEVATION

SCALE: 1" = 20'

7



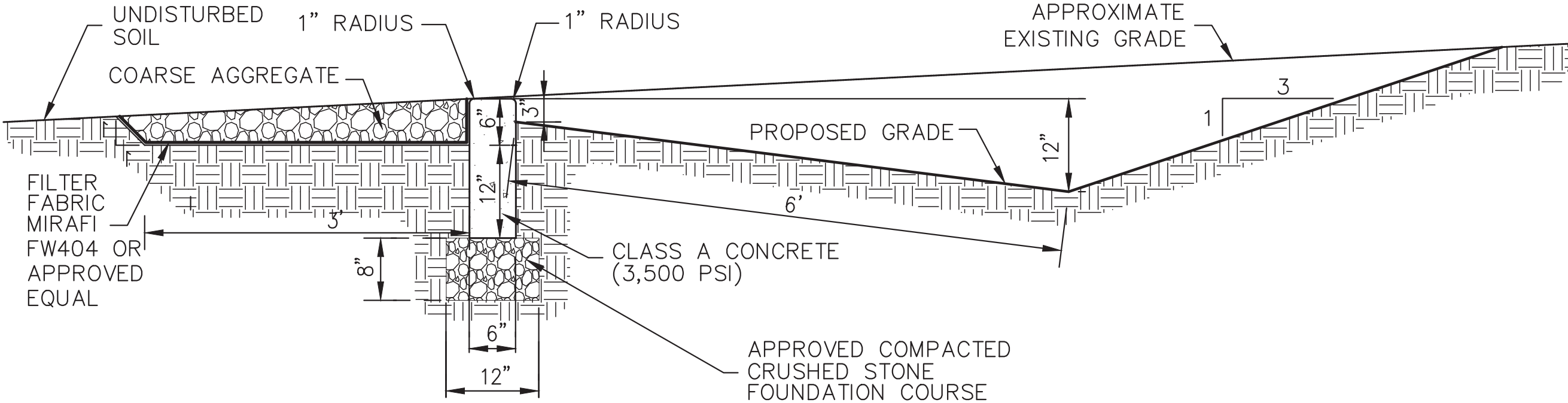
CONSTRUCTION DETAILS

HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

DRAWN	PD	APPROVED	JS
SCALE:	N.T.S.		
DATE:	07/11/2017		
PROJECT NO:	16237		
DWG:	16237-ZD-DETAILS	TAB:	ZD-6
DRAWING NO:	ZD-8		



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- NOTES PERTAINING TO DRAIN INLETS**
- A-1 STEPS WILL NOT BE REQUIRED IN INLETS LESS THAN FOUR (4) FEET IN DEPTH. STEPS WILL BE REQUIRED IN INLETS FOUR (4) FEET OR GREATER IN DEPTH. DEPTHS FOR DRAIN INLETS SHALL BE MEASURED FROM FINISHED GRADE TO INSIDE BOTTOM OF STRUCTURE (INCLUDING SUMP AS APPLICABLE).
- A-2 WHEN STEPS ARE REQUIRED, STEPS SHALL COMPLY WITH THE SAME REQUIREMENTS OF ASTM STANDARD C-478, ARTICLE 13 ENTITLED "MANHOLE STEPS & LADDERS".
- A-3 FOR MASONRY STRUCTURES, THE FIRST COURSE OF MASONRY SHALL BE SET IN THE CONCRETE FOUNDATION BEFORE THE CONCRETE HAS SET. CONCRETE FOUNDATION SHALL BE CLASS "A"(4000 psi) CONCRETE, TWELVE (12) INCHES THICK AND SHALL EXTEND SIX (6) INCHES BEYOND THE OUTSIDE FACE THE STRUCTURE.
- A-4 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH AND CONSTRUCT THE PROPER SIZE STRUCTURE INCLUDING THE NECESSARY OPENINGS TO ACCOMMODATE THE WORK AS SHOWN ON THE PLANS OR ORDERED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
- A-5 ALL NECESSARY PATCHING FOR DRAIN STRUCTURES SHALL BE ACCOMPLISHED WITH NON-SHRINKING CEMENT MORTAR GROUT, APPROVED EQUAL TO SIKKA-SET AS MANUFACTURED BY THE SIKKA CHEMICAL CORP.
- A-6 FOUNDATIONS FOR PRECAST CONCRETE STRUCTURES SHALL BE SET ON A COMPACTED LAYER OF APPROVED CRUSHED STONE HAVING A MINIMUM COMPACTED THICKNESS OF EIGHT (8) INCHES.
- A-7 ALL PIPES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF THE STRUCTURE.
- A-8 PROVIDE REINFORCED CONCRETE TOP SLAB FOR OVERSIZED DRAIN INLETS WITH PROPER SIZE OPENING TO ACCOMMODATE INSTALLATION OF FRAME & GRATE.
- A-9 FOR MASONRY STRUCTURES GREATER THAN TEN (10) FEET IN DEPTH, THICKNESS OF MASONRY WALLS SHALL BE INCREASED TO TWELVE (12) INCHES.
- A-10 FOR ALL STRUCTURES GREATER THAN 10 FEET IN DEPTH, STRUCTURES SHALL PROVIDE MINIMUM INSIDE DIMENSIONS OF 4 FEET X 4 FEET.

- NOTES PERTAINING TO MANHOLES**
- B-1 PRECAST CONCRETE MANHOLES SHALL COMPLY WITH ASTM STANDARD C-478. MANHOLE JOINTS SHALL COMPLY WITH ASTM STANDARD C-443.
- B-2 FOR PRECAST CONCRETE MANHOLES FIVE (5) FEET OR LESS IN HEIGHT, TOP CONE SECTION SHALL BE REPLACED WITH PRECAST REINFORCED CONCRETE SLAB (6" MIN. THICKNESS) WITH OPENING OF SUFFICIENT SIZE TO ACCOMMODATE MANHOLE CASTING.
- B-3 FOR MANHOLES 10 FEET OR MORE IN DEPTH, MANHOLE DIAMETER SHALL BE FIVE (5) FEET.
- B-4 TERMINAL MANHOLE FLOORS SHALL BE SLOPED TOWARD OUTFALL PIPE.
- B-5 INVERT CHANNELS FOR PRECAST CONCRETE MANHOLES SHALL BE CONSTRUCTED OF CONCRETE.
- B-6 NOTES A-1, A-2, A-4, A-5, A-6 & A-7 UNDER "NOTES PERTAINING TO DRAIN INLETS" ABOVE SHALL APPLY TO MANHOLES.

- NOTES PERTAINING TO PRECAST CONCRETE STRUCTURES FOR STORM DRAINS, SANITARY SEWERS AND WATER LINES**
- C-1 ALL PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
- C-2 STEPS SHALL BE LOCATED WITHIN STRUCTURE TO AVOID PLACEMENT OVER PIPES WHEN PRACTICABLE.

SYSTEM REQUIREMENTS						
POWER provided by:	Utility Company direct		TELCO provided by:		Fiber Optics	
Power Requirements:	Amps: 200	Volts: 120/240	No. of Outlets: N/A			
Generator Provided by:	Licenses: 2	Make/Model: Generac SDO30	Fuel Type & Capacity:		Diesel	
Batteries:	Quantity: None	Make/Model: N/A				
SPACE REQUIREMENTS & RADIO INVENTORY						
Type of Space Required:	Ground: Yes	Floor: No	Total Square Feet: 240 sq ft			
Dimensions of Floor/Ground Space Required:	12' x 20'		Equipment Height: 10'			
No. of Transmitters (Tx):	N/A	Transmitter Make/Model: N/A	Transmitter Power Output: N/A		N/A	
No. of Receivers (Rx):	N/A	Receiver Make/Model: N/A	Transmitter ERP: N/A		N/A	
EQUIPMENT LOADING DESCRIPTION (FINAL CONFIGURATION)						
	Sector 1	Sector 2	Sector 3	DISH(ES)	OTHER	
Antenna Type (1):	Panel	Panel	Panel	N/A	N/A	
Qty of Antennas (1)/ Sector:	Four (4)	Four (4)	Four (4)	None	None	
Transmit, Receive or Both:	Both	Both	Both	N/A	N/A	
Antenna Make (1):	Commscope	Commscope	Commscope	N/A	N/A	
Antenna Model (1):	SBNH-1D65B	SBNH-1D65B	SBNH-1D65B	N/A	N/A	
Antenna Dimensions (1):	72.9" x 11.9" x 7.1"	72.9" x 11.9" x 7.1"	72.9" x 11.9" x 7.1"	N/A	N/A	
Antenna Weight (1):	40.6 lbs	40.6 lbs	40.6 lbs	N/A	N/A	
Requested Antenna RAD (1):	90 ft	90 ft	90 ft	N/A	N/A	
RRU/RRH(s) / Sector (1):	One (1)	One (1)	One (1)			
RRU/RRH Manufacturer (1):	Alcatel-Lucent	Alcatel-Lucent	Alcatel-Lucent			
RRU/RRH Model # (1):	RRH2x40W-07A-T	RRH2x40W-07A-T	RRH2x40W-07A-T			
RRU/RRH Dimensions (1):	24.8" x 11.4" x 5.6"	24.8" x 11.4" x 5.6"	24.8" x 11.4" x 5.6"			
RRU/RRH Weight (1):	50.3 lbs	50.3 lbs	50.3 lbs			
RRU/RRH RAD (1):	90 ft	90 ft	90 ft			
RRU/RRH(s) / Sector (2):	One (1)	One (1)	One (1)			
RRU/RRH Manufacturer (2):	Alcatel-Lucent	Alcatel-Lucent	Alcatel-Lucent			
RRU/RRH Model (2):	B25 RRH4X30-4R	B25 RRH4X30-4R	B25 RRH4X30-4R			
RRU/RRH Dimension (2):	21.4" x 12.0" x 7.2"	21.4" x 12.0" x 7.2"	21.4" x 12.0" x 7.2"			
RRU/RRH Weight (2):	51 lbs	51 lbs	51 lbs			
RRU/RRH RAD (2):	90 ft	90 ft	90 ft			
RRU/RRH(s) / Sector (3):	One (1)	One (1)	One (1)			
RRU/RRH Manufacturer (3):	Alcatel-Lucent	Alcatel-Lucent	Alcatel-Lucent			
RRU/RRH Model (3):	RRH4x25-WCS-4R	RRH4x25-WCS-4R	RRH4x25-WCS-4R			
RRU/RRH Dimension (3):	29.5" x 11.8" x 2.9"	29.5" x 11.8" x 2.9"	29.5" x 11.8" x 2.9"			
RRU/RRH Weight (3):	70 lbs	70 lbs	70 lbs			
RRU/RRH RAD (3):	90 ft	90 ft	90 ft			
TMA's Per Sector:	None	None	None			
Duplexers Per Sector:	None	None	None			
Surge Suppressors/Sector:	None	None	None			
OTHER:	None	None	None			
Transmit Frequencies:	1930-1935, 1935-1940, 1965-1970, 734-740, 740-746 MHz			N/A	N/A	
Receive Frequencies:	1850-1855, 1855-1860, 1885-1890, 704-710, 710-716 MHz			N/A	N/A	
# of Lines/ Sector:	One (1)	One (1)	One (1)	None	None	
Line Size:	Fiber Line	DC Power	RET Line	N/A	N/A	
Mount Type:	T-Arm	T-Arm	T-Arm	N/A	N/A	
Mount Size:	Ten Feet (10')	Ten Feet (10')	Ten Feet (10')	N/A	N/A	

BY	DATE	PD	PD						
	12/19/2017		12/10/2019						
REVISION	COMMENTS								
1.	REVISION PER VILLAGE								
2.	GENERAL REVISIONS								

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CONCRETE LEVEL SPREADER

16

UTILITY NOTES

17

AT&T ANTENNA SPECIFICATIONS

18

SD030 | 2.4L | 30 kW
INDUSTRIAL DIESEL GENERATOR SET
EPA Certified Stationary Emergency

GENERAC | INDUSTRIAL POWER

STANDBY POWER RATING
30 kW, 38 kVA, 60 Hz

PRIME POWER RATING*
27 kW, 34 kVA, 60 Hz

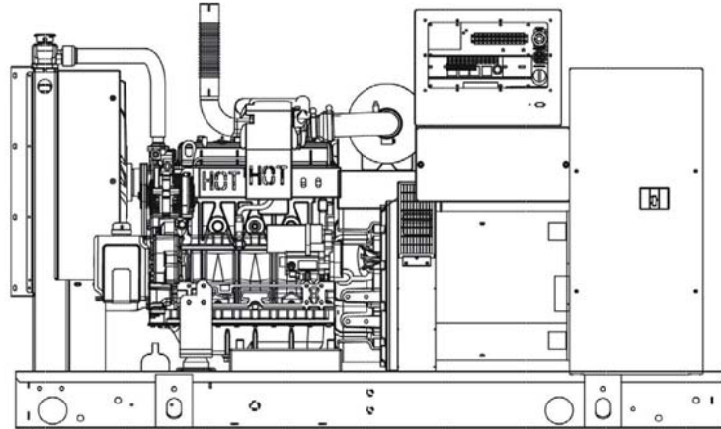


Image used for illustration purposes only

CODES AND STANDARDS
Generac products are designed to the following standards:

UL2200, UL508, UL142, UL498

NFPA70, 99, 110, 37

NEC700, 701, 702, 708

ISO9001, 8528, 3046, 7637, Pluses #2b, 4

NEMA ICS10, MG1, 250, ICS6, AB1

ANSI C62.41

POWERING AHEAD

For over 50 years, Generac has led the industry with innovative design and superior manufacturing.

Generac ensures superior quality by designing and manufacturing most of its generator components, including alternators, enclosures and base tanks, control systems and communications software.

Generac's gensets utilize a wide variety of options, configurations and arrangements, allowing us to meet the standby power needs of practically every application.

Generac searched globally to ensure the most reliable engines power our generators. We choose only engines that have already been proven in heavy-duty industrial application under adverse conditions.

Generac is committed to ensuring our customers' service support continues after their generator purchase.

SD030 | 2.4L | 30 kW
INDUSTRIAL DIESEL GENERATOR SET
EPA Certified Stationary Emergency

GENERAC | INDUSTRIAL POWER

APPLICATION AND ENGINEERING DATA

ENGINE SPECIFICATIONS

General

Make:	Generac
EPA Emissions Compliance:	Stationary Emergency
EPA Emissions Reference:	See Emissions Data Sheet
Cylinder #:	4
Type:	In-Line
Displacement - L (cu in):	2.4 (146.46)
Bore - mm (in):	90 (3.54)
Stroke - mm (in):	94 (3.70)
Compression Ratio:	21.3:1
Intake Air Method:	Turbocharged
Cylinder Head Type:	Cast Iron
Piston Type:	Aluminum

Cooling System

Cooling System Type:	Closed Recovery
Water Pump:	Pre-Lubed, Self Sealing
Fan Type:	Pusher
Fan Speed (rpm):	2089
Fan Diameter mm (in):	560 (22)
Coolant Standard Voltage:	1500
Coolant Heater Standard Voltage:	120 VAC

Fuel System

Fuel Type:	Ultra Low Sulfur Diesel Fuel
Fuel Specifications:	ASTM
Fuel Filtering (microns):	5
Fuel Injection:	Distribution Injection Pump
Fuel Pump Type:	Engine Driven Gear
Injector Type:	Mechanical
Fuel Supply Line mm (in):	7.94 (0.31)
Fuel Return Line mm (in):	7.94 (0.31)

Engine Governing

Governor: Electronic Isochronous

Frequency Regulation (Steady State): +/- 0.25%

Lubrication System

Oil Pump Type:	Gear
Oil Filter Type:	Full Flow
Crankcase Capacity - L (qts):	6.2 (6.52)

Engine Electrical System

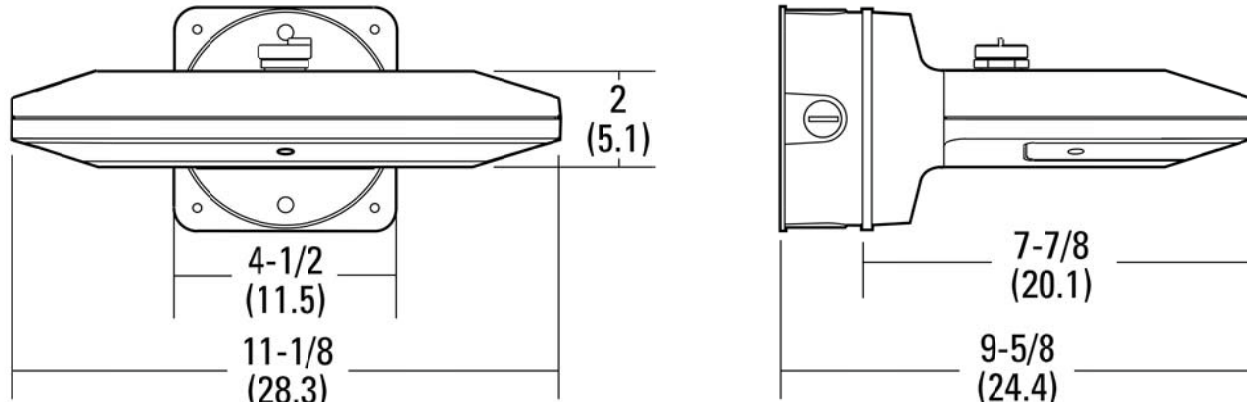
System Voltage:	12 VDC
Battery Charging Alternator:	Std
Battery Size:	See Battery Index 0161870589
Battery Voltage:	12 VDC
Ground Polarity:	Negative

ALTERNATOR SPECIFICATIONS

Standard Model:	390
Poles:	4
Field Type:	Revolving
Insulation Class - Rotor:	H
Insulation Class - Stator:	H
Total Harmonic Distortion:	<5%
Telephone Interference Factor (TIF):	<50

Standard Excitation:	Synchronous
Bearings:	Single Sealed Cartridge
Coupling:	Direct, Flexible Disc
Load Capacity - Standby:	100%
Prototype Short Circuit Test:	Yes
Voltage Regulator Type:	Digital
Number of Sensed Phases:	All
Regulation Accuracy (Steady State):	±0.25%

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All dimensions are inches (centimeters) unless otherwise indicated.

NOTES:

1. LIGHT SHALL BE INSTALLED TO BE DOWNWARD FACING.
2. NO LIGHTING SHALL BE PERMITTED TO SPILL ONTO ADJOINING PROPERTIES.
3. LIGHT SHALL BE CONTROLLED BY A MANUAL TIMER.

LIGHTING STANDARD (OR APPROVED EQUAL)

20

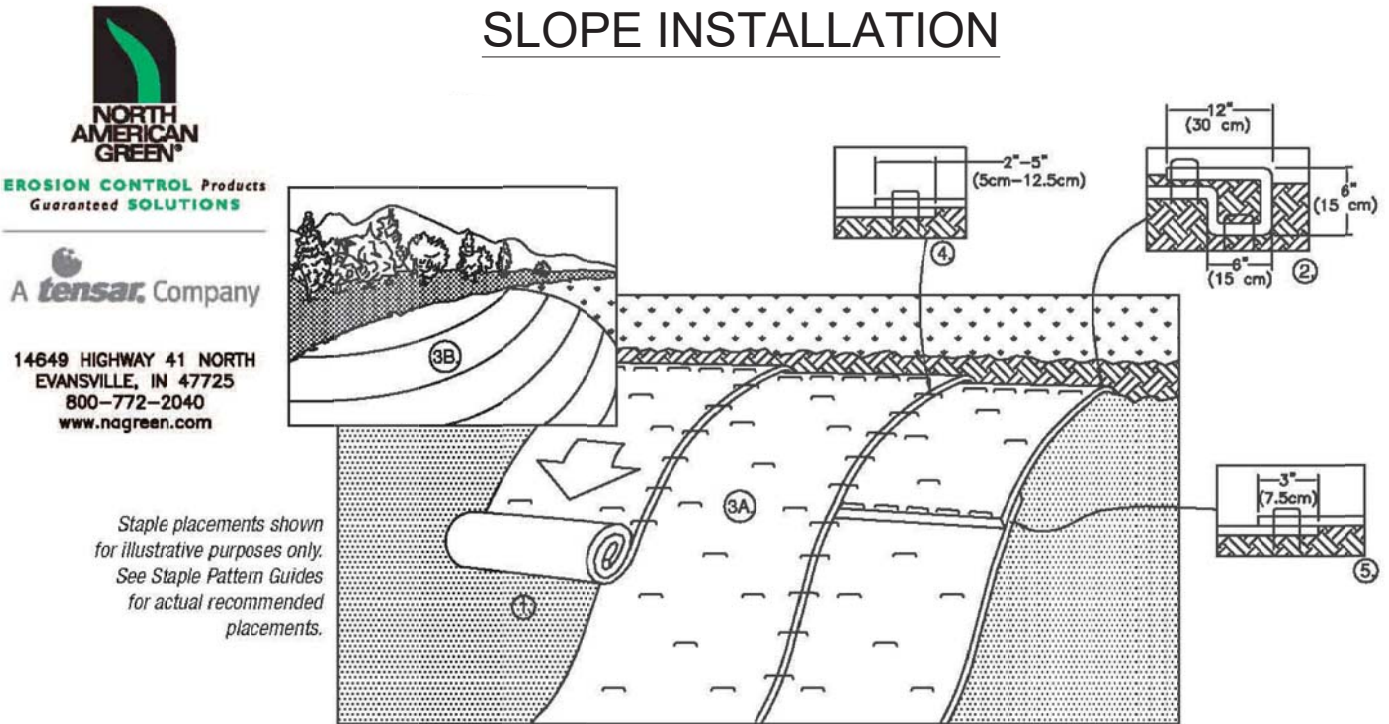
SLOPE MATTING

21

AT&T GENERATOR SPECIFICATIONS

19

SLOPE INSTALLATION



1. FINE GRADE SLOPE AND ADD SOIL AS NEEDED TO CREATE AN EVEN SURFACE.
2. SEED SLOPE WITH SEED MIX AS FOLLOWS:

Name	Variety	% of Mixture
Seed Mix E: To Be Applied @ 35 lbs of Pure Live Seed per Acre		
Hard Fescue/Festuca longifolia	Bornito	50
Chewing Fescue/Festuca arundinacea	SR5130	25
Sheeps Fescue/Festuca ovina	VNS	25

3. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE REC'S IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF REC'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE REC'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF REC'S BACK OVER SEED AND COMPACTED SOIL. SECURE REC'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE REC'S.
4. ROLL THE REC'S DOWN THE SLOPE. REC'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL REC'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE "D" PATTERN GUIDE (SEE ATTACHED STAPLE PATTERN GUIDE). WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
5. THE EDGES OF PARALLEL REC'S SHALL BE STAPLED WITH APPROXIMATELY 2" - 5" OVERLAP DEPENDING ON REC'S TYPE.
6. CONSECUTIVE REC'S SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE REC'S WIDTH.
NOTE: *IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE REC'S.



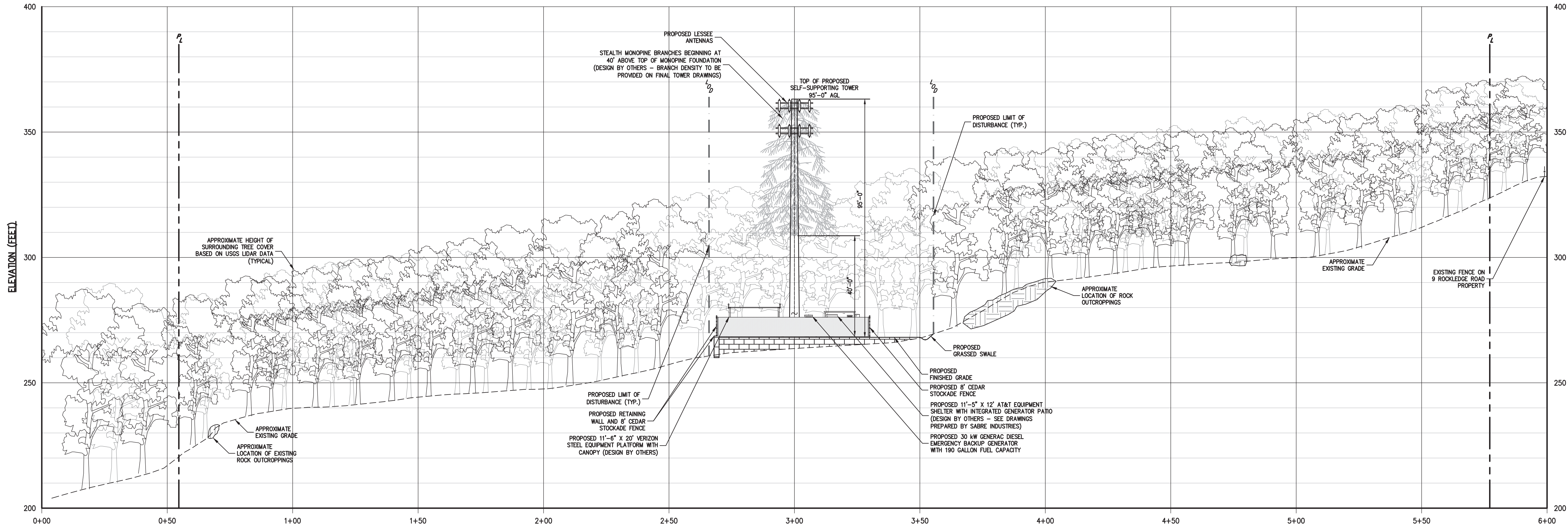
CONSTRUCTION DETAILS
HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

DRAWN:	PD	APPROVED:	JS
SCALE:	N.T.S.		
DATE:	07/11/2017		
PROJECT NO:	16237		
DWG: 16237-ZD-DETAILS	TAB: ZD-8	LS:	--
DRAWING NO:	ZD-10		

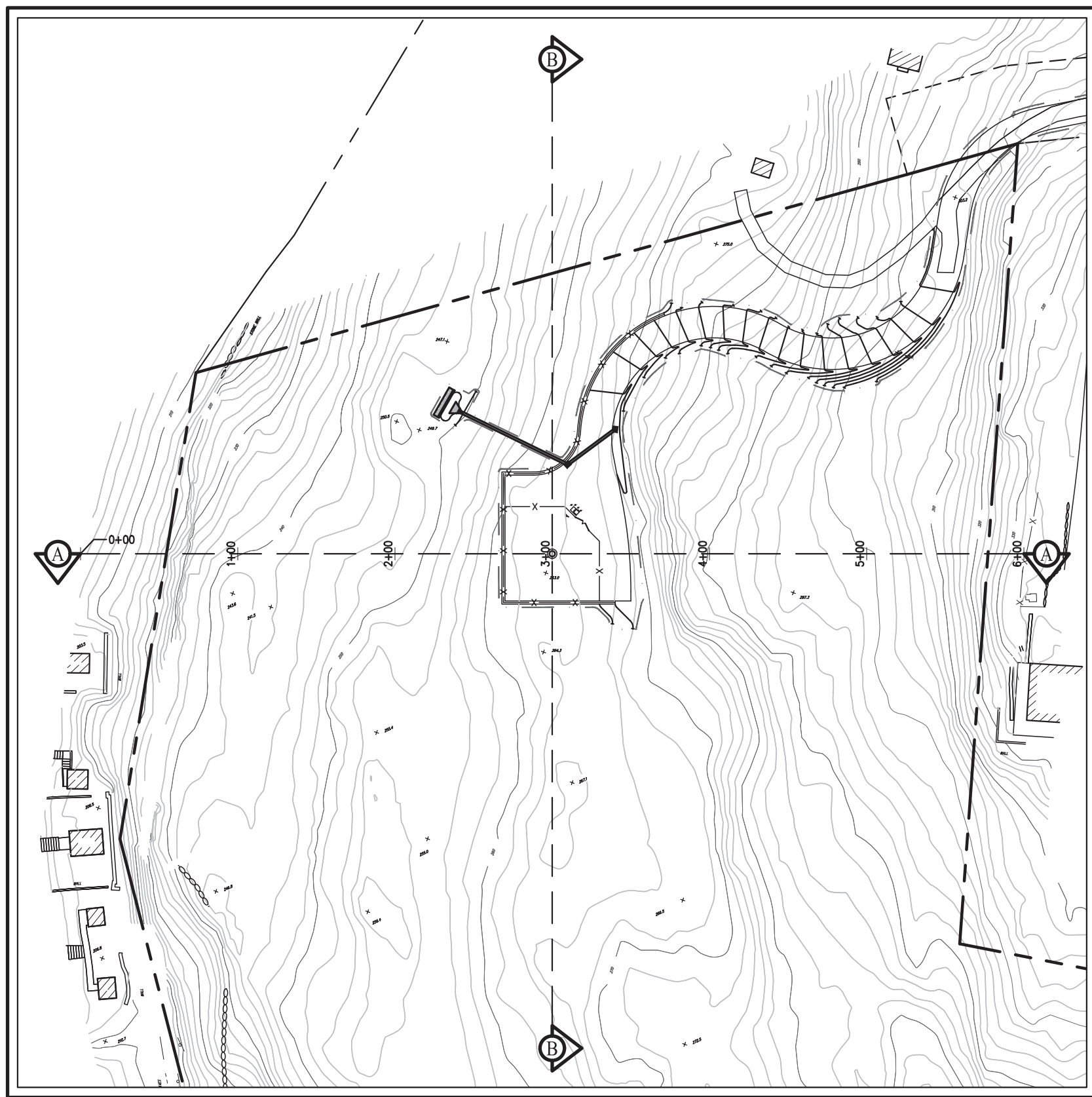
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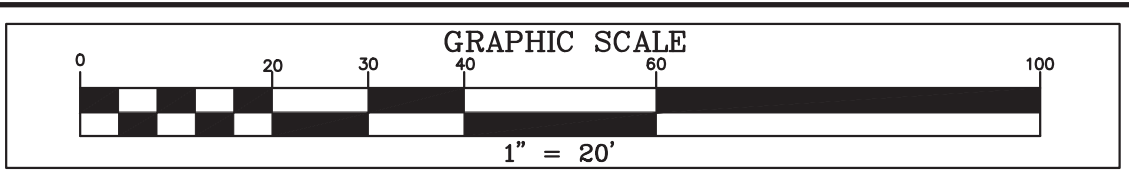
STATION (FEET)
SITE SECTION A-A
SCALE: 1" = 20' HORIZ. 1" = 20' VERT.



SITE GRADING PLAN
SCALE: 1" = 80'

NOTES:
1. APPROXIMATE TREE CANOPY HEIGHTS SHOWN HAVE BEEN OBTAINED FROM AVAILABLE UNITED STATES GEOLOGICAL SURVEY LIGHT DETECTION AND RANGING (LIDAR) DATA.
2. FOR CLARITY, EXISTING VEGETATION IN THE FOREGROUND/BACKGROUND OF THE SECTIONS IS NOT SHOWN.

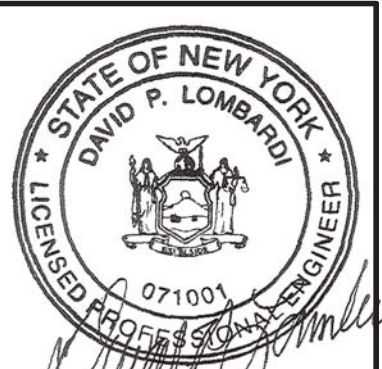
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SITE NUMBER: NY170
TAX PARCEL: 49.6-1-7

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1.	GENERAL REVISIONS	12/10/2019	PD

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15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

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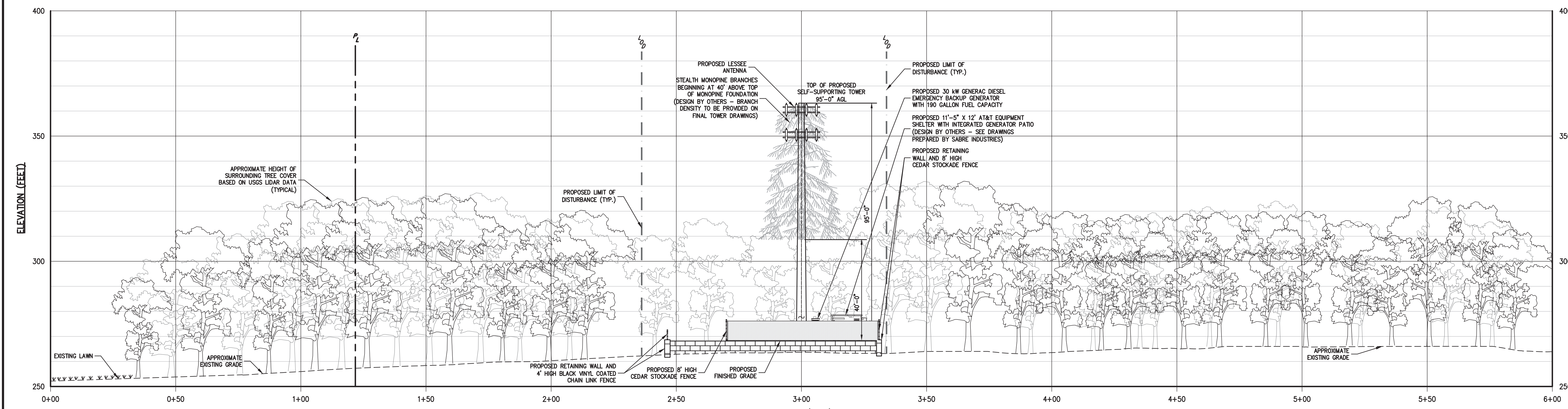
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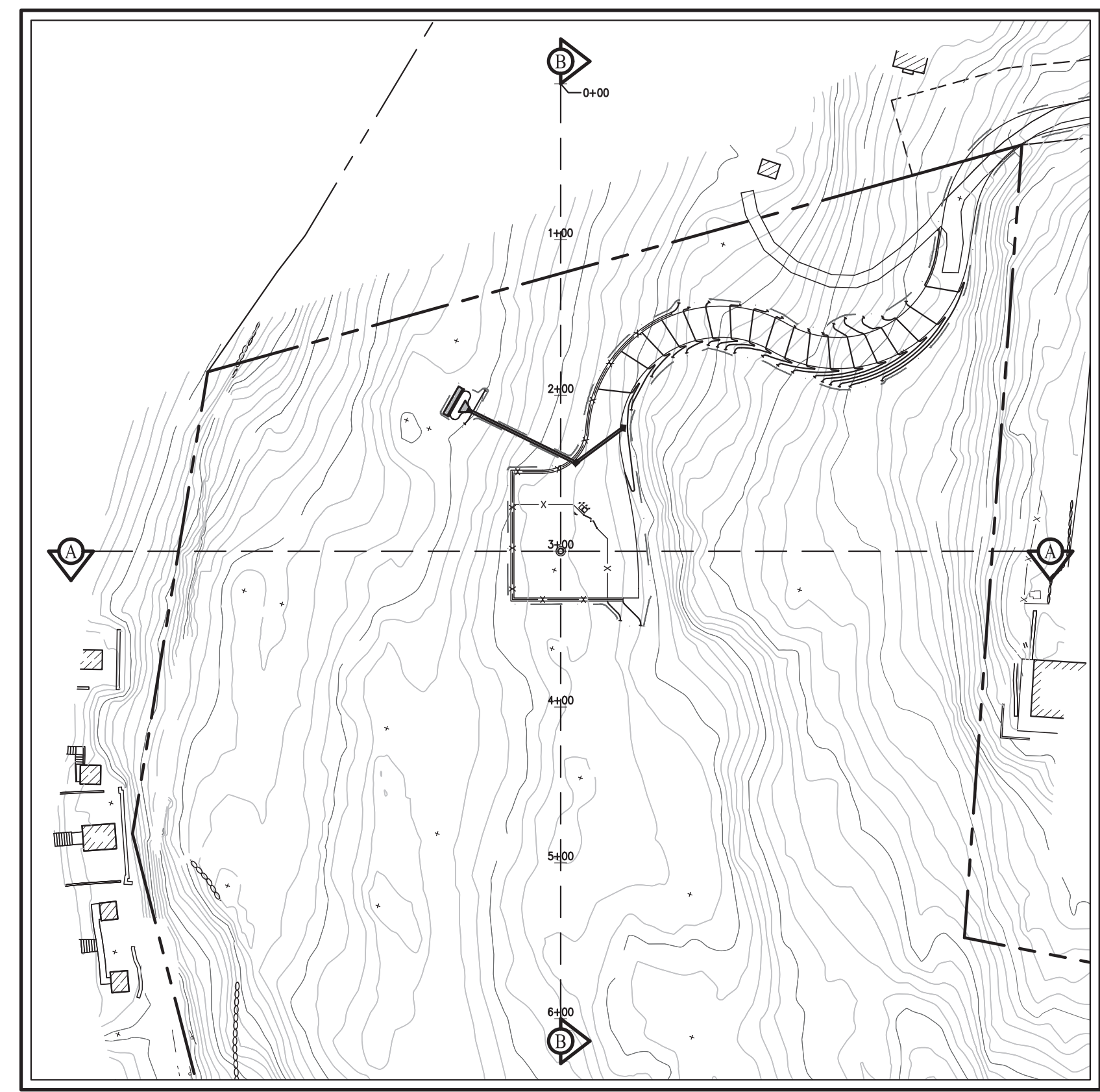
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SITE SECTION B-B
SCALE: 1" = 20' HORIZ. 1" = 20' VERT.



SITE GRADING PLAN
SCALE: 1" = 80'

- NOTES:**
- APPROXIMATE TREE CANOPY HEIGHTS SHOWN HAVE BEEN OBTAINED FROM AVAILABLE UNITED STATES GEOLOGICAL SURVEY LIGHT DETECTION AND RANGING (LIDAR) DATA.
 - FOR CLARITY, EXISTING VEGETATION IN THE FOREGROUND/BACKGROUND OF THE SECTIONS IS NOT SHOWN.

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GRAPHIC SCALE
0 20 40 60 80 100
1" = 20'

SITE NAME: NELSONVILLE
SITE NUMBER: NY170
TAX PARCEL: 49.6-1-7

NO.	REVISION	DATE	BY
1.	GENERAL REVISIONS	12/10/2019	PD

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STATE OF NEW YORK
DAVID P. LOMBARDI
LICENSED PROFESSIONAL ENGINEER
071001

12/19/2017

PROJECT NO: 16237
DWG: 16237-2D
SECTION B
SOP: 3.0-GRD-UTIL-SE

ZD-14

SITE CROSS SECTIONS
HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

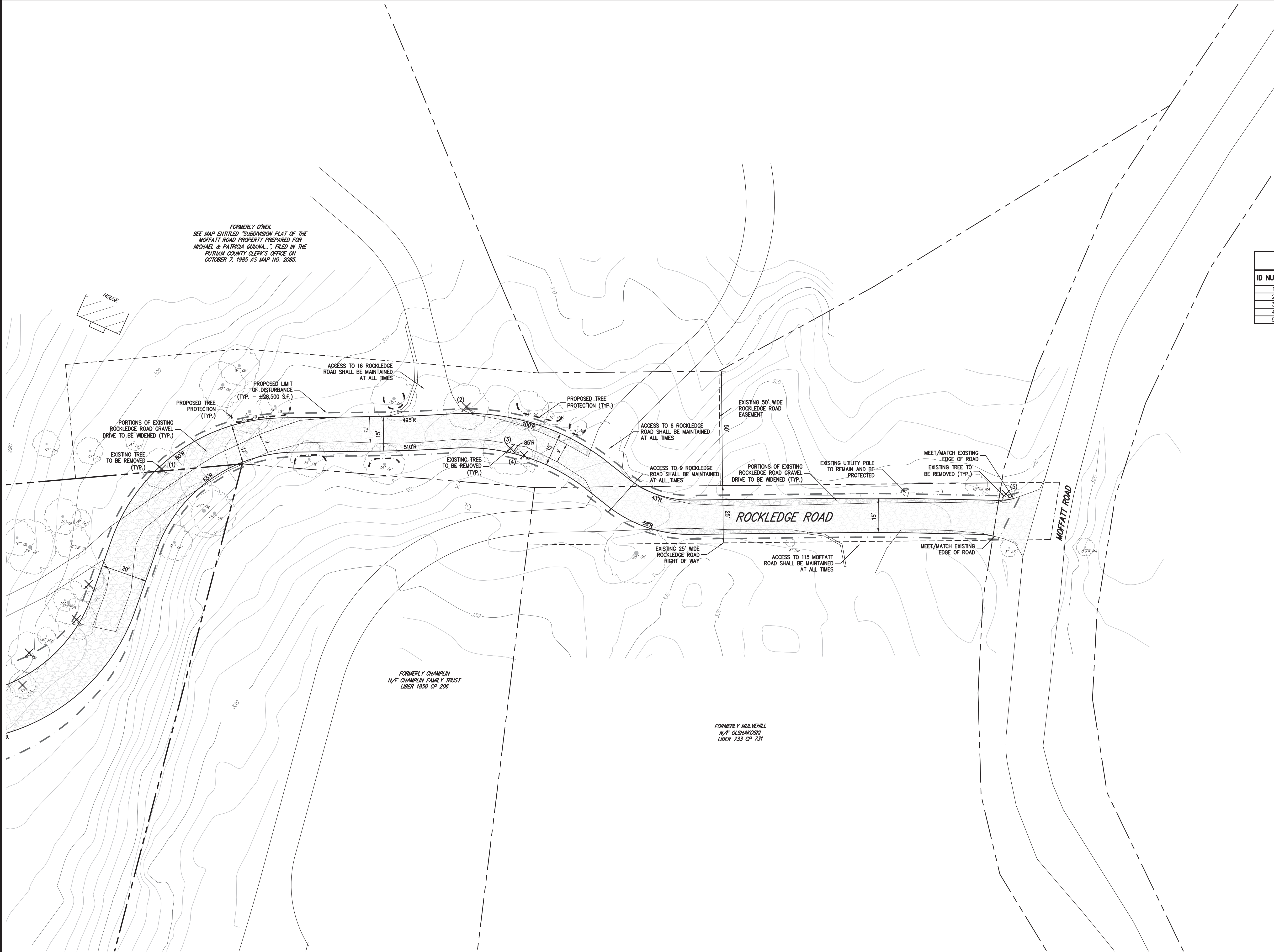
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LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING PAVEMENT EDGE
	EXISTING BUILDING LINE
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	EXISTING GRAVEL DRIVE
	PROPOSED GRAVEL SURFACE
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED TREE PROTECTION

NOTES:

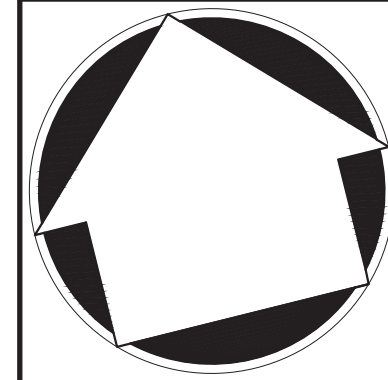
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TREE REMOVAL TABLE				
ID NUMBER	ABBREVIATION	SPECIES	SIZE	HEALTH CONDITION
1	OK	OAK	18"	GOOD
2	OK	OAK	20"	GOOD
3	OK	OAK	24"	GOOD
4	OK	OAK	8"	GOOD
5	LO	LOCUST	8"	GOOD

APPLICABLE

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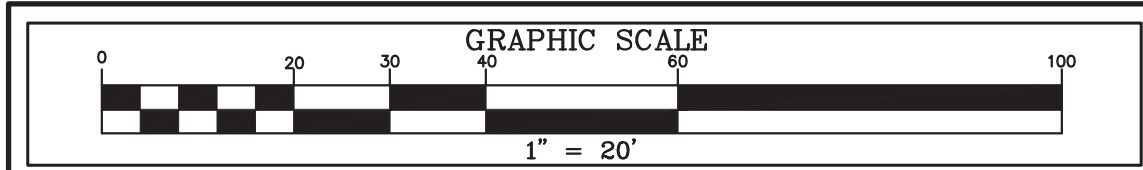
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ROCKLEDGE ROAD / EASEMENT
CONCEPTUAL IMPROVEMENT PLAN

HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

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SITE NAME: NELSONVILLE
SITE NUMBER: NY170
TAX PARCEL: 49.6-1-7

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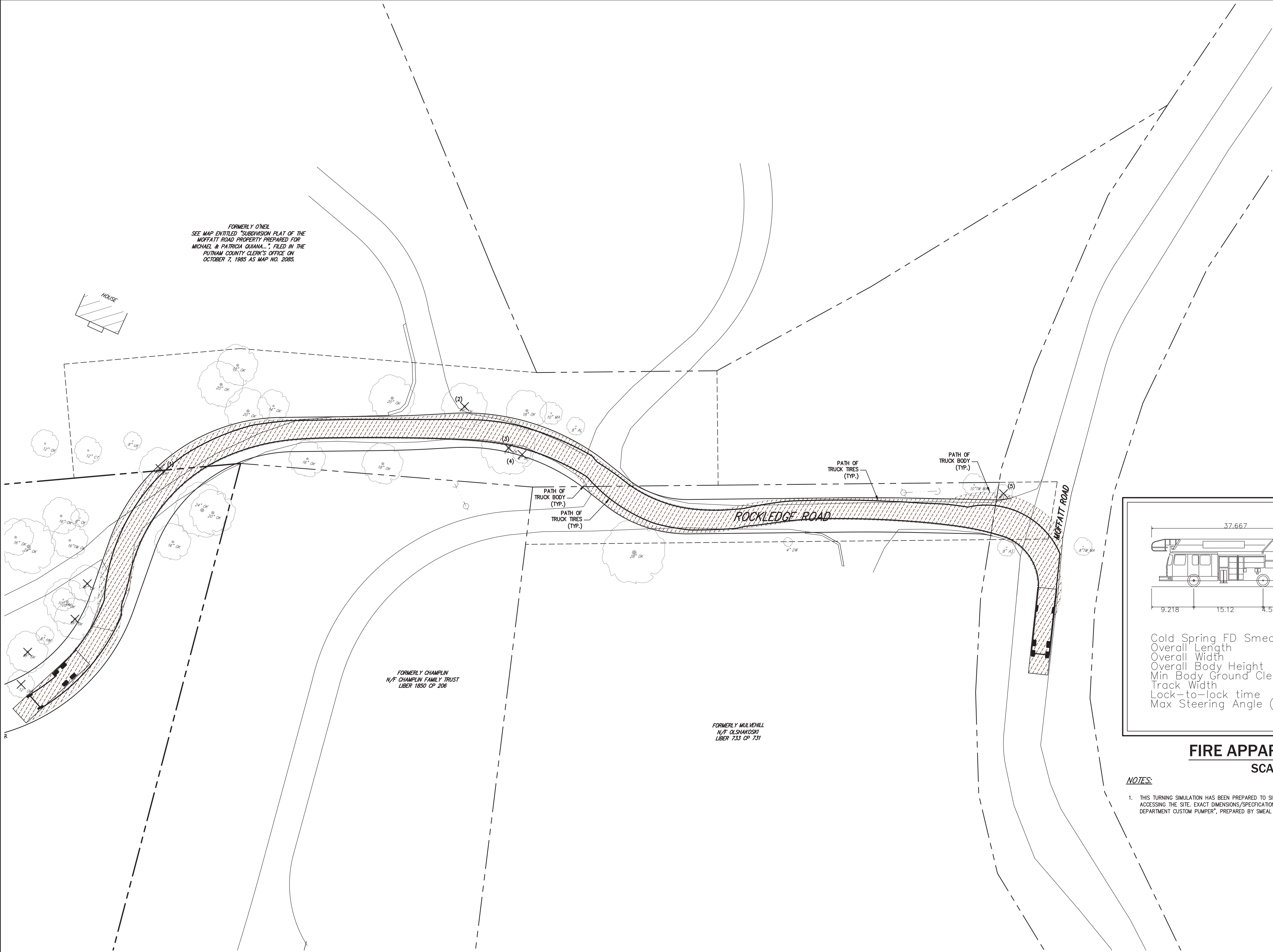
DRAWN: PD	APPROVED: JS
SCALE: 1" = 20'	DATE: 12/19/2017
PROJECT NO: 16237	
DWG: 16237-D	TAB: RROP
SOP: RROP	
DRAWING NO: ZD-11	

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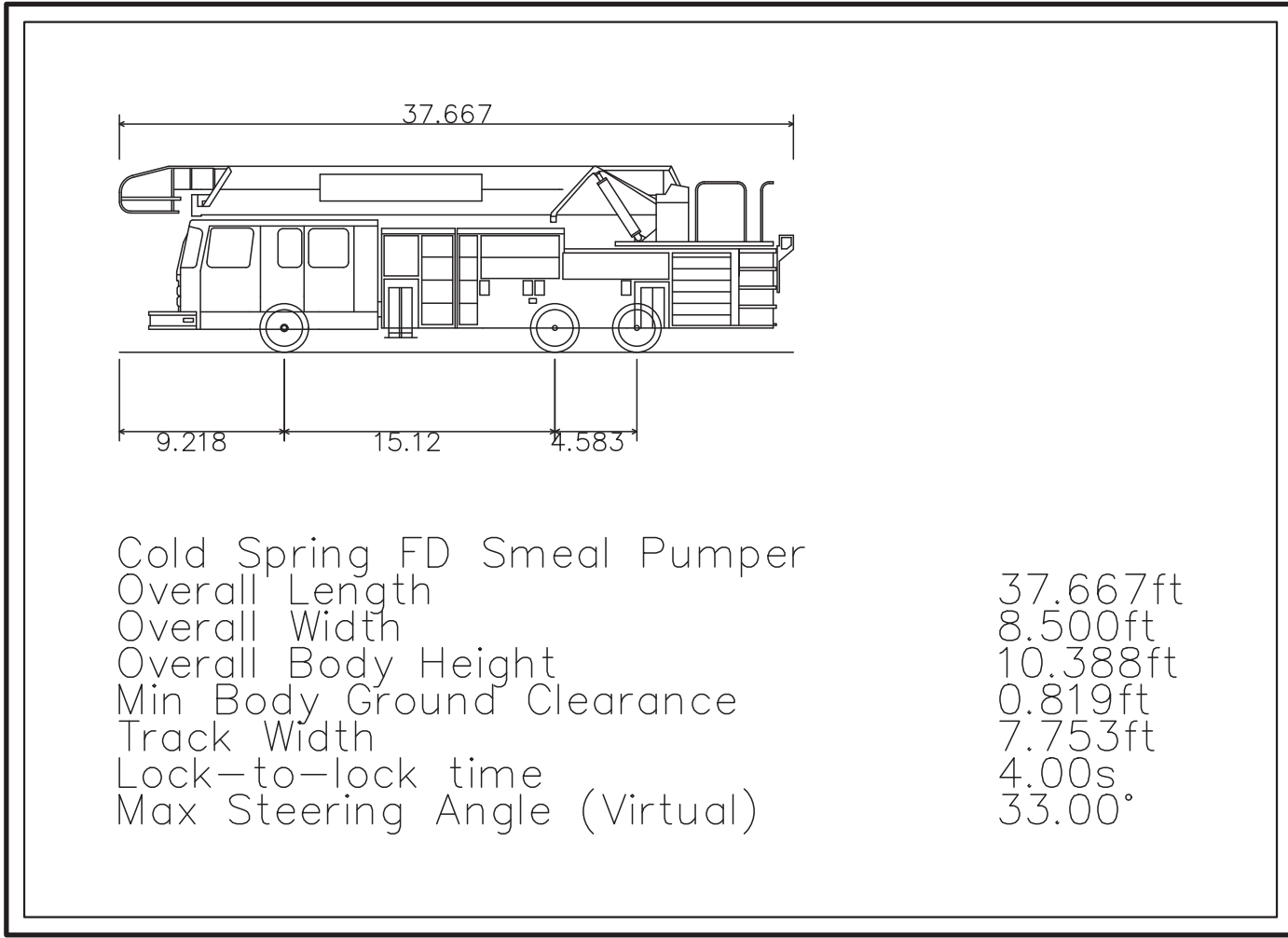
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LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING PAVEMENT EDGE
	EXISTING BUILDING LINE
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	EXISTING GRAVEL DRIVE
	PROPOSED GRAVEL SURFACE
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED TREE PROTECTION

NOTES:

1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A DRAWING TITLED "SURVEY OF PROPERTY" PREPARED BY BADEY & WATSON SURVEYING & ENGINEERING, PC, DATED 03/21/2017.



FIRE APPARATUS PROFILE
SCALE: N.T.S.

NOTES:

1. THIS TURNING SIMULATION HAS BEEN PREPARED TO SIMULATE THE COLD SPRING FIRE DEPARTMENT'S LARGEST APPARATUS ACCESSING THE SITE. EXACT DIMENSIONS/SPECIFICATIONS HAVE BEEN TAKEN FROM A DRAWING TITLED "COLD SPRING FIRE DEPARTMENT CUSTOM PUMPER", PREPARED BY SMEAL FIRE APPARATUS CO., DATED 01/30/2009.

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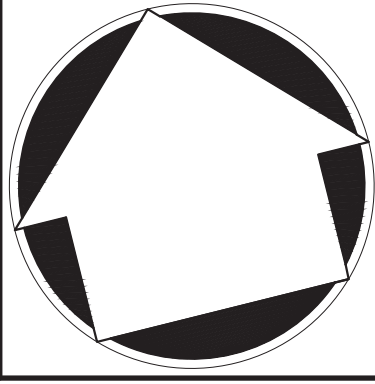
SITE NAME: NELSONVILLE
SITE NUMBER: NY170
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SCALE:		1" = 20'		
DATE:		12/19/2017		
PROJECT NO:		16237		
DWG:		TAR	RRTP	RRDP
DRAWING NO:		ZD-12		

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