

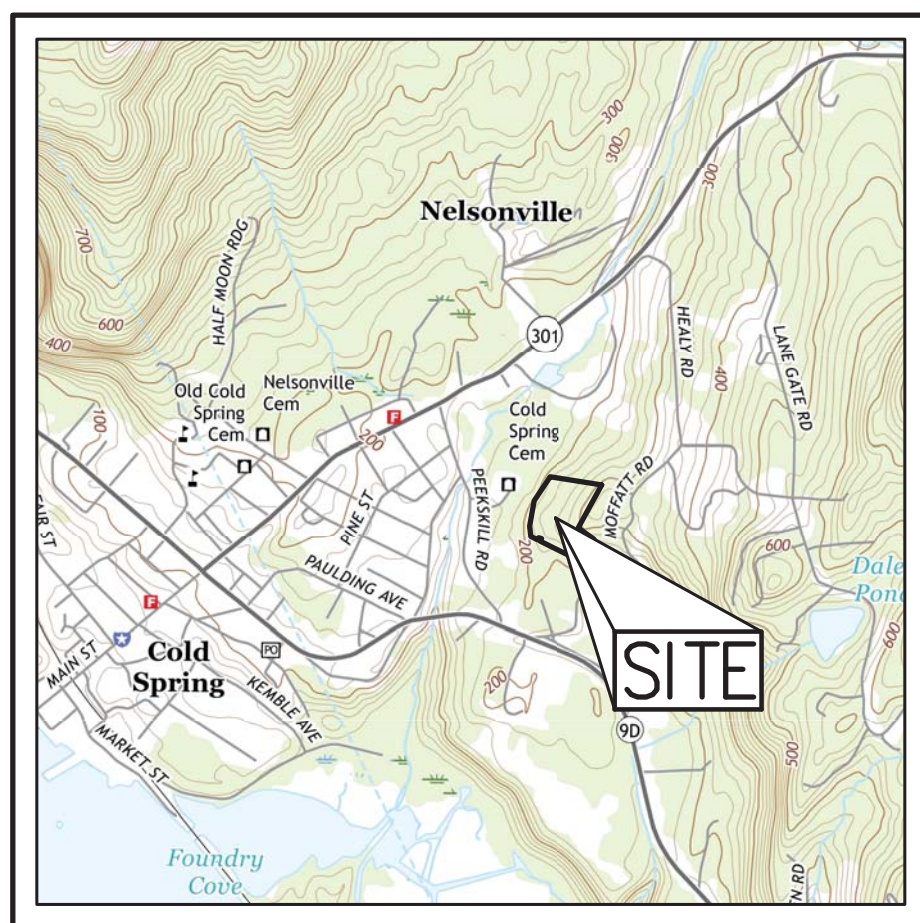
<u>PROPOSED WORK:</u>	PROPOSED UNMANNED COMMERCIAL COMMUNICATIONS TOWER WITH PERSONAL WIRELESS SERVICE FACILITIES INCLUDING THE INSTALLATION OF A 110' MONOPINE WITH ANTENNAS AND ASSOCIATED EQUIPMENT WITHIN A PROPOSED FENCED MULTI-CARRIER WIRELESS EQUIPMENT COMPOUND.
<u>SITE ADDRESS:</u>	15 ROCKLEDGE ROAD NELSONVILLE, NY 10516
<u>PROPERTY OWNER:</u>	DOUGLAS W. LOGAN P.O. BOX 188 COLD SPRING, NY 10516
<u>TOWER OWNER / CO-APPLICANTS:</u>	HOMELAND TOWERS, LLC 9 HARMONY STREET, 2ND FLOOR DANBURY, CT 06810
	ORANGE COUNTY - POUGHKEEPSIE LIMITED PARTNERSHIP d/b/a VERIZON WIRELESS ONE VERIZON WAY MAIL STOP 4W100 BASKING RIDGE, NJ 07920
	NEW CINGULAR WIRELESS PCS LLC 575 MOROSGO DRIVE, 13-F WEST TOWER ATLANTA, GA 30324
<u>ELECTRICAL CONTACT:</u>	CENTRAL HUDSON GAS & ELECTRIC CONTACT: CUSTOMER SERVICE PHONE: (800) 527-2714
<u>TELCO CONTACT:</u>	VERIZON (800) 843-2255
<u>LATITUDE:</u>	N41°25'20.32"
<u>LONGITUDE:</u>	W73°56'27.56"
<u>LAT/LONG TYPE:</u>	NORTH AMERICAN DATUM OF 1983 (NAD83)
<u>ELEVATION:</u>	±373.0'
<u>JURISDICTION:</u>	VILLAGE OF NELSONVILLE
<u>COUNTY:</u>	PUTNAM COUNTY
<u>TAX PARCEL:</u>	49.6-1-7
<u>LOT SIZE:</u>	9.63 ACRES
<u>ZONING DISTRICT:</u>	MR "MOUNTAIN RESIDENTIAL"
<u>CURRENT USE:</u>	UNDEVELOPED
<u>PROPOSED USE:</u>	COMMERCIAL COMMUNICATIONS TOWER WITH PERSONAL WIRELESS SERVICE FACILITIES

TABLE OF LAND USE			
SECTION 49.6, BLOCK 1, LOT 7 ZONE MR, "MOUNTAIN RESIDENTIAL"			
DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (SQUARE FEET)	80,000	419,657	419,657
MINIMUM LOT FRONTAGE (FEET)	175	0 ⁽¹⁾	0 ⁽¹⁾
MINIMUM LOT DIMENSION (FEET)	150	211.4	211.4
STREET LINE BUILDING SETBACK (FEET)	60	N/A	N/A
PROPERLY LINE BUILDING SETBACK (FEET)	25	N/A	N/A
MAXIMUM BUILDING HEIGHT (STORIES/FEET)	2.5 / 35	N/A	N/A
BUILDING COVERAGE (PERCENT)	10	N/A	N/A
<i>COMMUNICATIONS TOWERS SUPPLEMENTARY REGULATIONS</i>			
HABITABLE STRUCTURE SETBACK ⁽²⁾ (FEET)	300	N/A	±308.9
FRONT YARD TOWER SETBACK ⁽³⁾ (FEET)	150	N/A	±168.8
SIDE YARD TOWER SETBACK ⁽⁴⁾ (FEET)	137.5	N/A	±239.2
MAXIMUM TOWER HEIGHT ⁽⁵⁾ (FEET)	110	N/A	110
MINIMUM TOWER SEPARATION ⁽⁶⁾ (FEET)	500	N/A	>500
SIDE YARD ACCESSORY STRUCTURE SETBACK ⁽⁷⁾ (FEET)	100	N/A	±178.7
REAR YARD ACCESSORY STRUCTURE SETBACK ⁽⁷⁾ (FEET)	100	N/A	±481.9
<i>PARKING SUMMARY</i>			
PARKING SPACES ⁽⁸⁾ (SPACES)	2	N/A	2

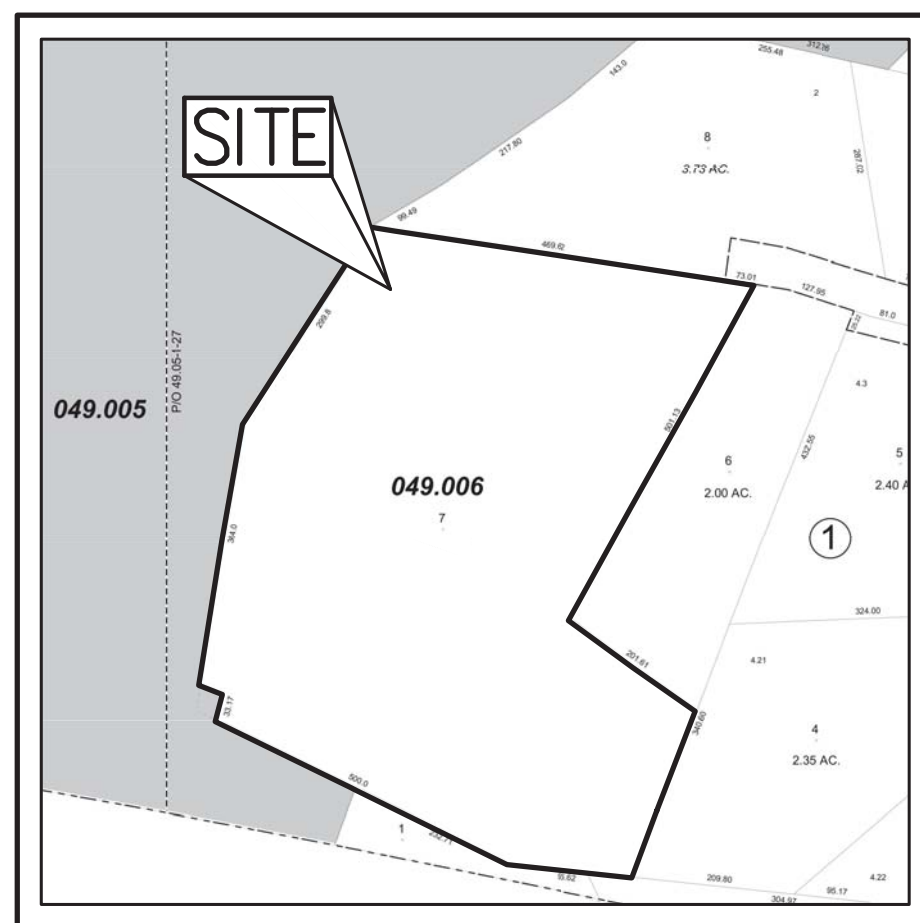
1. EXISTING NON-CONFORMITY.
2. PER SECTION 188-71.D(2) OF THE VILLAGE OF NELSONVILLE ZONING CODE, NO TOWER SHALL BE PLACED CLOSER THAN 300 FEET TO THE NEAREST HABITABLE STRUCTURE.
3. PER SECTION 188-71.D(5)(1) OF THE VILLAGE OF NELSONVILLE ZONING CODE, THE MINIMUM FRONT YARD SETBACK TO A TOWER SHALL BE 150 FEET OR 125% OF THE HEIGHT OF THE TOWER, WHICHEVER IS GREATER.
4. PER SECTION 188-71.D(5)(2) OF THE VILLAGE OF NELSONVILLE ZONING CODE, THE MINIMUM SIDE YARD SETBACK TO A TOWER SHALL BE 50 FEET OR 125% OF THE HEIGHT OF THE TOWER, WHICHEVER IS GREATER.
5. PER SECTION 188-71.D(6) OF THE VILLAGE OF NELSONVILLE ZONING CODE, THE MAXIMUM HEIGHT OF A FREESTANDING COMMERCIAL TELECOMMUNICATIONS TOWER SHALL BE 110 FEET.
6. PER SECTION 188-71.D(3) OF THE VILLAGE OF NELSONVILLE ZONING CODE, IN A RESIDENTIAL ZONE, A TOWER SHALL NOT BE PLACED CLOSER THAN 500 FEET TO ANY EXISTING COMMERCIAL COMMUNICATIONS TOWER, WHETHER SUCH EXISTING TOWER IS IN A RESIDENTIAL ZONE OR ANY OTHER ZONE.
7. PER SECTION 188-71.D(5)(c) OF THE VILLAGE OF NELSONVILLE ZONING CODE, NO BUILDINGS OR STRUCTURES ACCESSORY TO THE OPERATION OF A COMMERCIAL TELECOMMUNICATIONS FACILITY OR COMMERCIAL TELECOMMUNICATIONS ANTENNA INSTALLATION MAY BE CONSTRUCTED IN ANY REQUIRED FRONT YARD SETBACK MUST PROVIDE AT LEAST 50 FOOT SIDE AND REAR SETBACK FROM THE PROPERTY LINE. ON ANY LOT LINE ABUTTING A RESIDENTIAL DISTRICT, THE REQUIRED SETBACK SHALL BE 100 FEET.
8. PER SECTION 188-71.D(c)(2) OF THE VILLAGE OF NELSONVILLE ZONING CODE, A MINIMUM OF TWO PARKING SPACES SHALL BE PROVIDED FOR EACH COMMERCIAL TELECOMMUNICATIONS TOWER WHICH HOUSES A COMMERCIAL TELECOMMUNICATIONS ANTENNA INSTALLATION.

1. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 "DIG SAFELY" (1-800-962-7962) TO HAVE UNDERGROUND UTILITIES LOCATED. EXPLORATORY EXCAVATIONS SHALL COMPLY WITH CODE 753 REQUIREMENTS. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PRESERVATION OF ALL PUBLIC AND PRIVATE UNDERGROUND AND SURFACE UTILITIES AND STRUCTURES AT OR ADJACENT TO THE SITE OF CONSTRUCTION, INsofar AS THEY MAY BE ENDANGERED BY HIS OPERATIONS. THIS SHALL HOLD TRUE WHETHER OR NOT THEY ARE SHOWN ON THE CONTRACT DRAWINGS. IF THEY ARE SHOWN ON THE DRAWINGS, THEIR LOCATIONS ARE NOT GUARANTEED EVEN THOUGH THE INFORMATION WAS OBTAINED FROM THE BEST AVAILABLE DATA. IF ANY AND ALL SUCH UTILITIES ARE NOT LOCATED, THESE PLANS MAY BE ENCOUNTERED IN THE FIELD. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, IMMEDIATELY REPAIR OR REPLACE ANY STRUCTURES OR UTILITIES THAT HE DAMAGES, AND SHALL CONSTANTLY PROCEED WITH CAUTION TO PREVENT UNOCCURRED INTERRUPTION OF UTILITY SERVICE.
2. UNDER INDUSTRIAL CODE 753, CONTRACTOR SHALL NOTIFY ALL OPERATORS OF UTILITIES LOCATED IN THE AREA WHERE THE WORK IS TO BE PERFORMED PRIOR TO THE START OF THIS WORK SO THAT ALL THE VARIOUS UNDERGROUND UTILITY OPERATORS WILL BE ABLE TO LOCATE AND MARK THE LOCATIONS OF THEIR OWN UTILITIES. NO WORK SHALL COMMENCE UNTIL ALL THE OPERATORS HAVE NOTIFIED THE CONTRACTOR THAT THEIR UTILITIES HAVE BEEN LOCATED.
3. CONTRACTOR SHALL HAND DIG TEST PITS TO VERIFY THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL VERIFY EXISTING UTILITIES DEPTHS AND ADVISE OF ANY CONFLICTS WITH PROPOSED UTILITIES. IF CONFLICTS ARE PRESENT, THE OWNER'S FIELD REPRESENTATIVE, JMC AND THE APPLICABLE MUNICIPALITY OR AGENCY SHALL BE NOTIFIED IN WRITING. THE EXISTING/PROPOSED UTILITIES RELOCATION SHALL BE DESIGNED BY JMC.
4. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL SAFETY CODES. APPLICABLE SAFETY CODES MEAN THE LATEST EDITION INCLUDING ANY AND ALL AMENDMENTS, REVISIONS, AND ADDITIONS THERE TO, TO THE FEDERAL DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION'S OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND APPLICABLE SAFETY AND HEALTH REGULATIONS AND ORDINANCES FOR CONSTRUCTION IN THE STATE OF NEW YORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GUARDING AND PROTECTING ALL OPEN EXCAVATIONS IN ACCORDANCE WITH THE PROVISION OF SECTION 107-05 (SAFETY AND HEALTH REQUIREMENTS) OF THE NYSDOT STANDARD SPECIFICATIONS. IF THE CONTRACTOR PERFORMS ANY HAZARDOUS CONSTRUCTION PRACTICES, ALL OPERATIONS IN THE AFFECTED AREA SHALL BE DISCONTINUED AND IMMEDIATE ACTION SHALL BE TAKEN TO CORRECT THE SITUATION TO THE SATISFACTION OF THE APPROVAL AUTHORITY HAVING JURISDICTION.
5. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES AFFECTED BY THE SCOPE OF WORK SHOWN HEREON AT ALL TIMES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE. RAMPING CONSTRUCTION TO PROVIDE ACCESS MAY BE CONSTRUCTED WITH SUBBASE MATERIAL EXCEPT THAT TEMPORARY ASPHALT CONCRETE SHALL BE PLACED AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE PEDESTRIAN ACCESS AT ALL TIMES.
6. PRIOR TO OBTAINING A BUILDING PERMIT TO ALLOW ITS CONSTRUCTION, DETAILED DESIGN CALCULATIONS MUST BE PROVIDED TO ILLUSTRATE COMPLIANCE WITH ANSI TIA/EIA 222-F AND ANSI TIA 222-G "STRUCTURAL STANDARDS FOR ANTENNA SUPPORTING STRUCTURES AND ANTENNAS" AND THE NYS BUILDING CODE, FOR REVIEW AND ACCEPTANCE BY THE VILLAGE.

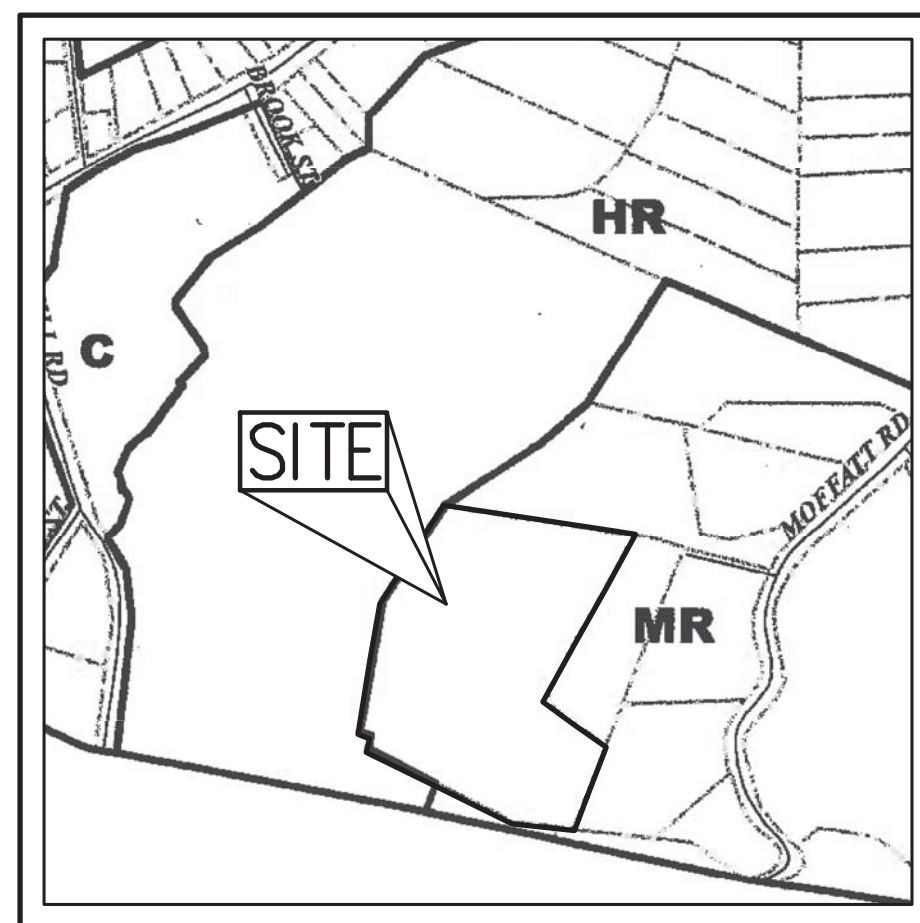
**15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE
PUTNAM COUNTY, NY**



SCALE: 1" = 2,000'



SCALE: 1" = 250'



SCALE: 1" = 500'

ZONING LEGEND	
C	– COMMERCIAL
HR	– HILLSIDE RESIDENTIAL
MR	– MOUNTAIN RESIDENTIAL*

1. PRIOR TO THE INITIATION OF ANY CONSTRUCTION, THE APPLICANT OR HIS REPRESENTATIVE WILL MEET ON-SITE WITH THE VILLAGE BUILDING INSPECTOR, VILLAGE ENGINEER, SITE CONTRACTOR, AND/OR ANY ADDITIONAL OUTSIDE AGENCIES THAT MAY HAVE JURISDICTION FOR A PRE-CONSTRUCTION CONFERENCE TO REVIEW ALL FACTS OF CONSTRUCTION, REQUIRED EROSION PROTECTION MEASURES AND REQUIRED INSPECTIONS.
2. CONDUCT ALL ROCKLEDGE ROAD / EASEMENT IMPROVEMENTS, INCLUDING UTILITY TRENCHING.
3. STAKE LIMIT OF DISTURBANCE BOUNDARY WITH LATHE AND FLAGGING. INSTALL A STABILIZED CONSTRUCTION ENTRANCE.
4. INSTALL ALL SILT FENCES.
5. ENSURE THE PROTECTION AND FUNCTION OF THE EXISTING DETENTION POND, OUTLET CONTROL STRUCTURES AND CONVEYANCE PIPES FOR THE DURATION OF CONSTRUCTION ACTIVITIES.
6. INSTALL TEMPORARY INLET PROTECTION ON DETENTION POND DRAINAGE STRUCTURES.
7. CONSTRUCT THE VEGETATIVE SWALE TO ACT AS A DIVERSION SWALE TO THE EAST OF THE PROPOSED COMPOUND.
8. PROVIDE STONE CHECK DAMS AT REGULAR INTERVALS IN THE DIVERSION SWALE.
9. CLEAR AND GRUB THE AREA TO BE CONSTRUCTED INCLUDING ACCESS DRIVEWAY.
10. REMOVE AND STOCKPILE TOPSOIL. INSTALL SILT FENCING AROUND THE TEMPORARY TOPSOIL STOCKPILE LOCATION FOR EROSION CONTROL PURPOSES.
11. PROCEED WITH ROUGH GRADING OF AREA UNDER ACTIVE CONSTRUCTION.
12. INSTALL THE STORM DRAINAGE SYSTEM CONSISTING OF THE DRAIN INLET, CONVEYANCE PIPE AND STONE RIP RAP.
13. INSTALL UTILITIES IN BURIED CONDUIT.
14. BEGIN FINAL ROADWAY CONSTRUCTION AND FINE GRADING.
15. DIRECT ALL STORM DRAINAGE TO THE PROPOSED STORM WATER MANAGEMENT PRACTICES AS SHOWN ON THE PLANS.
16. FINISH GRADING, REDISTRIBUTE TOPSOIL AND ESTABLISH VEGETATION.
17. CLEAN AREAS AND STORM DRAINAGE SYSTEM OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH THE REMOVAL OF ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.
18. COMPLETE CONSTRUCTION.



**JMC PLANNING ENGINEERING
LANDSCAPE ARCHITECTURE
& LAND SURVEYING, PLLC**
120 BEDFORD ROAD
ARMONK, NY 10504
(914) 273-5225



HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CT 06810
(203) 297-6345

**ORANGE COUNTY - POUGHKEEPSIE LIMITED
PARTNERSHIP d/b/a VERIZON WIRELESS
ONE VERIZON WAY
MAIL STOP 4AW100
BASKING RIDGE, NJ 07920**

NEW CINGULAR WIRELESS PCS LLC
575 MOROSCO DRIVE, 13-F WEST TOWER
ATLANTA, GA 30324

SNYDER & SNYDER, LLP
94 WHITE PLAINS ROAD,
TARRYTOWN, NY 10591
(914) 333-0700

SURVEYOR: _____
BADEY & WATSON SURVEYING & ENGINEERING, PC
3063 ROUTE 9
COLD SPRING, NY 10516
(845) 265-9217

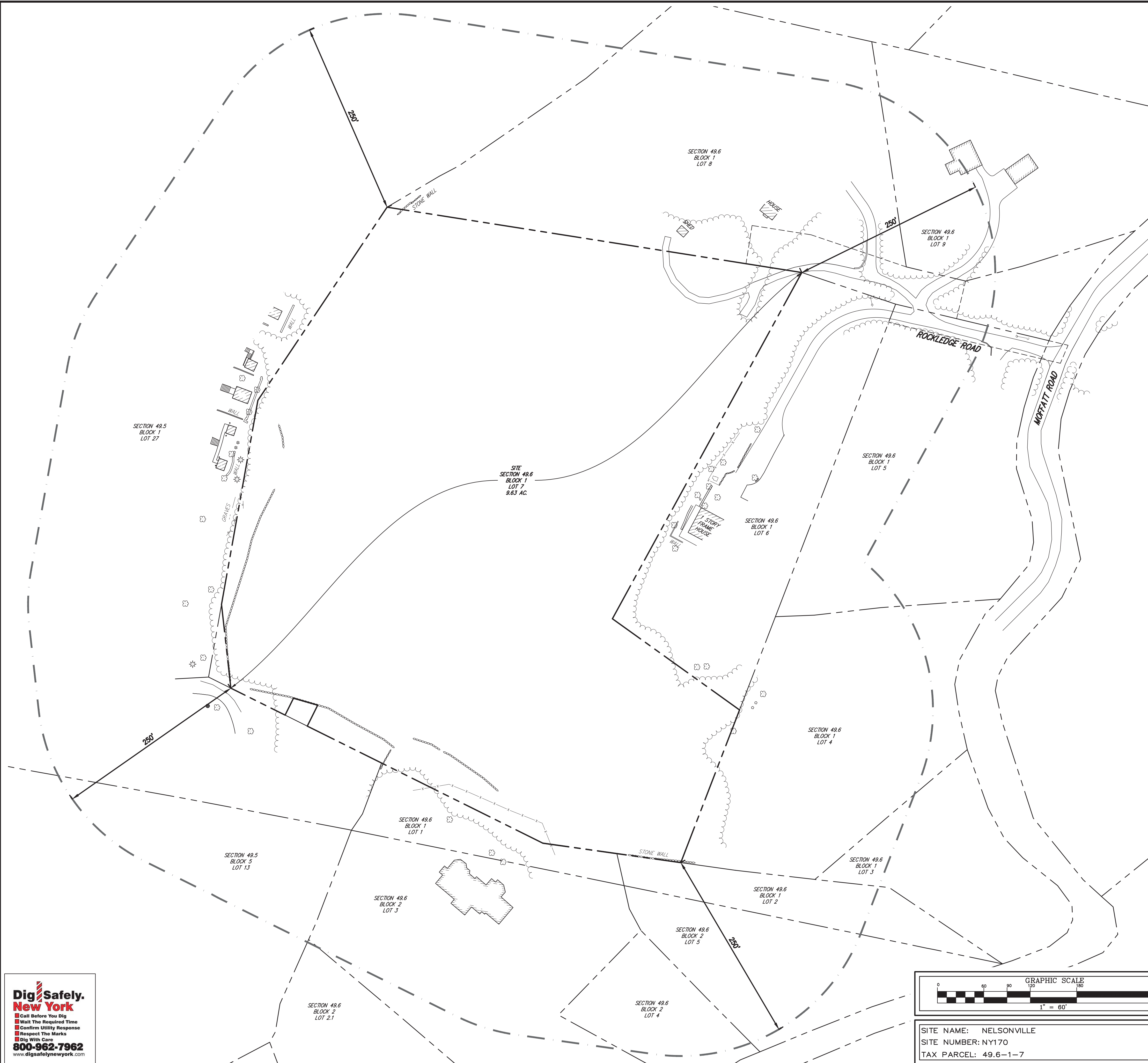
CBRE TELECOM SERVICES, INC.
4 WEST RED OAK LANE
WHITE PLAINS, NY 10604
(914) 694-9600







ZD-1	COVER SHEET
ZD-2	SITE ABUTTERS PLAN
ZD-3	OVERALL SITE PLAN
ZD-4	TREE REMOVAL PLAN
ZD-5	SITE LAYOUT AND LANDSCAPING PLAN
ZD-6	FIRE APPARATUS ACCESS PLAN
ZD-7	SITE GRADING, UTILITIES, & EROSION & SEDIMENT CONTROL PLAN
ZD-7A	ACCESS DRIVE PROFILE
ZD-8	CONSTRUCTION DETAILS
ZD-9	CONSTRUCTION DETAILS
ZD-10	CONSTRUCTION DETAILS
ZD-10A	CONSTRUCTION DETAILS
ZD-11	ROCKLEDGE ROAD / EASEMENT CONCEPTUAL IMPROVEMENT PLAN
ZD-12	ROCKLEDGE ROAD / EASEMENT FIRE APPARATUS ACCESS PLAN
ZD-13	SITE CROSS SECTIONS
ZD-14	SITE CROSS SECTIONS

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NOT FOR CONSTRUCTION

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<i>LEGEND</i>	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	250' RADIUS

NOTES:

1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A DRAWING TITLED "SURVEY OF PROPERTY" PREPARED BY BADEY & WATSON SURVEYING & ENGINEERING, PC, DATED 03/21/2017.
2. SUPPLEMENTAL EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM PUTNAM COUNTY GEOGRAPHIC INFORMATION SYSTEMS. THIS INFORMATION IS APPROXIMATE AND SHOULD BE USED FOR PLANNING PURPOSES ONLY.

PROPERTY OWNERS WITHIN 250' OF
SECTION 49.6, BLOCK 1, LOT 7

SECTION	BLOCK	LOT	PROPERTY OWNER	MAILING ADDRESS
49.6	1	8	RICHARD O VILLELLA AND COURTNEY S TAPLEY	16 ROCK LEDGE RD COLD SPRING, NY 10516
49.6	1	9	JEFF ROSSI AND MELISSA GILMER	6 ROCKLEDGE RD NELSONVILLE, NY 10516
49.6	1	6	JONATHAN D CHAMPLIN, RAYMOND H CHAMPLIN, AND ANNE T CHAMPLIN	9 ROCKLEDGE RD NELSONVILLE, NY 10516
49.6	1	5	MICHAEL OLSHAKOSKI AND ROSEMARIE OLSHAKOSKI	115 MOFFATT RD NELSONVILLE, NY 10516
49.6	1	4	HAROLD AKSELRAD AND JANUARY AKSELRAD	4683 WALDO AVE BRONX, NY 10471
49.6	1	3	GARY W KUEHNLENTZ AND SHARIFAH KUEHNLENTZ	89 MOFFATT RD COLD SPRING, NY 10516
49.6	1	2	JULIEN T DAVES AND DANA CARINI	75 MOFFATT RD COLD SPRING, NY 10516
49.6	2	5	JULIEN T DAVES AND DANA CARINI	75 MOFFATT RD COLD SPRING, NY 10516
49.6	2	4	SUSAN BARRETT CASEMENT	65 MOFFATT RD COLD SPRING, NY 10516
49.6	1	1	WILLIAM L HARRIS AND JOANNE SIMON	61 MOFFATT RD NELSONVILLE, NY 10516
49.6	2	3	WILLIAM L HARRIS AND JOANNE SIMON	61 MOFFATT RD NELSONVILLE, NY 10516
49.6	2	2.1	FREDERICK A ZENZ AND ELIZABETH ZENZ	P.O. BOX 49 COLD SPRING, NY 10516
49.5	5	13	COLD SPRING CEMETARY	PEEKSKILL RD NELSONVILLE, NY 10516
49.5	1	27	COLD SPRING CEM TRSTES	P.O. BOX 188 COLD SPRING, NY 10516

NOTES:

1. TAX PARCEL DATA INCLUDING PROPERTY OWNER AND ADDRESS WERE OBTAINED FROM THE PUTNAM COUNTY GEOGRAPHIC INFORMATION SYSTEMS "IMAGE MATE ONLINE".

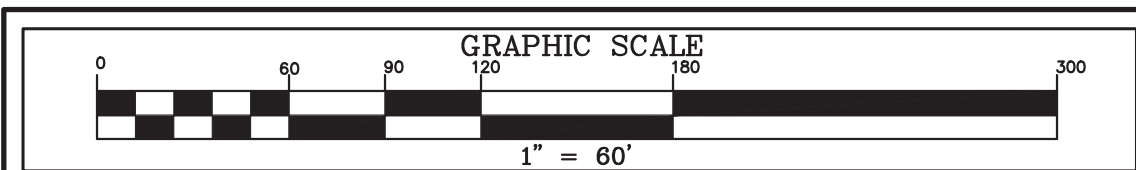
LOCAL, STATE, AND FEDERAL PARKLANDS
WITHIN 1/2 MILE OF SITE

S-B-L	NAME	PROPERTY OWNER	MAILING ADDRESS
38.17-1-3	HUDSON HIGHLANDS STATE PARK	VILLAGE OF NELSONVILLE	258 MAIN ST NELSONVILLE, NY 10516

NOTES:

1. TAX PARCEL DATA INCLUDING PROPERTY OWNER AND ADDRESS WERE OBTAINED FROM THE PUTNAM COUNTY GEOGRAPHIC INFORMATION SYSTEMS "IMAGE MATE ONLINE".

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

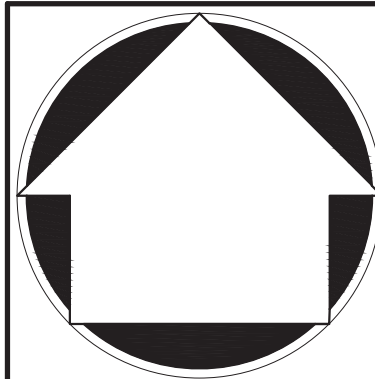


SITE NAME: NELSONVILLE
SITE NUMBER: NY170
TAX PARCEL: 49.6-1-7

[illegible]

APPLICANT:

JMC Planning, Engineering, Landscape
Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Meyer Consulting, Inc.
200 BEDFORD ROAD • ARMONK, NY 10504
voice 914.273.5225 • fax 914.273.2102
www.jmcpllc.com



SITE ABUTTERS PLAN

**HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY**















DRAWING:	PD	APPROVED:	JS
SCALE:	1" = 60'		
DATE:	07/11/2017		
PROJECT No:	16237		
DWG:	16237-ZD	TAB:	ABUTTERS
		SCR:	0_ABUTTERS
DRAWING No:	ZD-2		

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	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING UTILITY POLE
	EXISTING OVERHEAD WIRES
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	EXISTING BUILDING SETBACK
	EXISTING MONOPOLE SETBACK
	EXISTING HABITABLE STRUCTURE SETBACK
	PROPOSED CONCRETE CURB
	PROPOSED FENCE

1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A DRAWING TITLED "SURVEY OF PROPERTY" PREPARED BY BADEY & WATSON SURVEYING & ENGINEERING PC, DATED 03/21/2017.
2. SUPPLEMENTAL EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM PUTNAM COUNTY GEOGRAPHIC INFORMATION SYSTEMS. THIS INFORMATION IS APPROXIMATE AND SHOULD BE USED FOR PLANNING PURPOSES ONLY.

1. SUBJECT PROPERTY IS KNOWN AS SECTION 49.6, BLOCK 1, LOT 7 AS SHOWN ON A TAX PARCEL MAP GENERATED BY PUTNAM COUNTY GEOGRAPHIC INFORMATION SYSTEMS.

APPLICANT: HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CT 06810

3. PROPERTY OWNER: DOUGLAS W. LOGAN
P.O. BOX 188
COLD SPRING, NY 10516

4. THE PROPOSED USE IS FOR WIRELESS TELECOMMUNICATIONS. THE SITE IS NOT INTENDED FOR PERMANENT EMPLOYEE OCCUPANCY AND THEREFORE, POTABLE WATER SUPPLY AND SANITARY SEWER FACILITIES ARE NOT REQUIRED OR PROPOSED.

5. THE FACILITY SHALL BE VISITED ON AVERAGE, ONCE A MONTH FOR MAINTENANCE AND SHALL BE CONTINUOUSLY MONITORED FROM A REMOTE FACILITY 24 HOURS A DAY, 7 DAYS A WEEK.

6. THE APPLICANT'S EQUIPMENT IS REMOTELY OPERATED AND CONTROLLED, AND AS SUCH IS NORMALLY UNMANNED. COMPUTERIZED EQUIPMENT AND FACILITY ALARM SYSTEMS CONTINUOUSLY MONITOR AN EXTENSIVE NUMBER OF OPERATIONAL AND SHELTER FUNCTIONS.

7. ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION FOR THE SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:

- A. CURRENT PREVAILING MUNICIPAL AND/OR STATE SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
- B. CURRENT PREVAILING UTILITY COMPANY AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.

8. THERE WILL NOT BE ANY CHANGES IN EXISTING DRAINAGE PATTERNS TO THE MAXIMUM EXTENT PRACTICABLE.

9. THERE ARE NO COMMERCIAL SIGNS PROPOSED FOR ANY ASPECT OF THE USE.

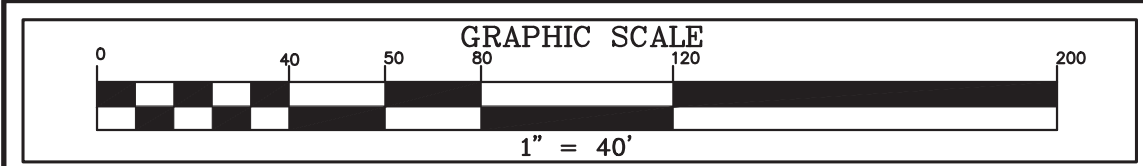
10. THE PROPOSED FACILITY IS UNMANNED AND WILL NOT GENERATE ANY ADDITIONAL NOISE ABOVE AMBIENT LEVELS AT THE PROPERTY LINE, DUST, FUMES, ODORS OR VIBRATIONS.

11. THERE ARE NO COMMERCIAL SIGNS PROPOSED FOR THE PROJECT.

12. TWO PARKING SPACES ARE PROPOSED AS PART OF THIS PROJECT. THE SPACE IS TO BE USED BY SERVICE TECHNICIANS DURING MAINTENANCE VISITS.

13. ANY LIGHTING PROPOSED BY TENANT/CARRIER EQUIPMENT SPECIFICATIONS SHALL CONFORM TO TOWN CODE REQUIREMENTS, BE CONTROLLED BY A MANUAL TIMER, AND NOT SPILL ONTO ADJACENT PROPERTIES. SEE DETAIL No. 22 ON ZD-10.

ANY ALTERATION OF PLANS,
SPECIFICATIONS, PLATS AND
REPORTS BEARING THE SEAL
OF A LICENSED PROFESSIONAL
ENGINEER OR LICENSED LAND
SURVEYOR IS A VIOLATION OF
SECTION 7209 OF THE NEW
YORK STATE EDUCATION LAW
EXCEPT AS PROVIDED FOR BY
SECTION 7209, SUBSECTION 2



SITE NAME: NELSONVILLE
SITE NUMBER: NY170
TAX PARCEL: 49.6-1-7

<i>NO.</i>	<i>REVISION</i>	<i>DATE</i>	<i>BY</i>
1.	REVISED PER TOWN COMMENTS	12/19/2017	PD
	<i>Previous Editions Obsolete</i>		

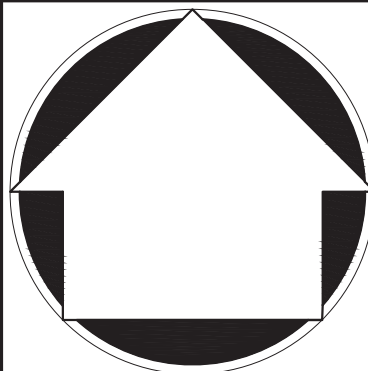
HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CT 06810

**JMC Planning, Engineering, Landscape
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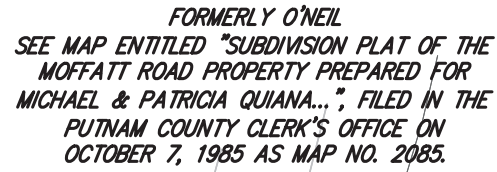


OVERALL SITE PLAN

HOMELAND TOWERS
NELSONVILLE (NY170)

ZD-3

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TREE REMOVAL TABLE

ID NUMBER	ABBREVIATION	SPECIES	SIZE	HEALTH CONDITION	ID NUMBER	ABBREVIATION	SPECIES	SIZE	HEALTH CONDITION
1	OK	OAK	16"	G00D	25	OK	OAK	10"	G00D
2	OK	OAK	18"	G00D	26	OK	OAK	18"	G00D
3	OK	OAK	18"	G00D	27	OK	OAK	OK	G00D
4	OK	OAK	12"	G00D	28	OK	OAK	14"	G00D
5	OK	OAK	8"	G00D	29	OK	OAK	18"	G00D
6	OK	OAK	12" TW	G00D	30	OK	OAK	14"	G00D
7	OK	OAK	12"	G00D	31	OK	OAK	8"	G00D
8	OK	OAK	10"	G00D	32	OK	OAK	16"	G00D
9	OK	OAK	14"	G00D	33	OK	OAK	8" TW	G00D
10	OK	OAK	8"	G00D	34	OK	OAK	24"	G00D
11	OK	OAK	16"	G00D	35	OK	OAK	18"	G00D
12	OK	OAK	8"	G00D	36	OK	OAK	18" TW	G00D
13	OK	OAK	20"	G00D	37	OK	OAK	10"	G00D
14	OK	OAK	12"	G00D	38	OK	OAK	14"	G00D
15	OK	OAK	8"	G00D	39	OK	OAK	10"	G00D
16	OK	OAK	8"	G00D	40	OK	OAK	14"	G00D
17	OK	OAK	12"	G00D	41	OK	OAK	16"	G00D
18	OK	OAK	12"	G00D	42	HM	HEMLOCK	8"	G00D
19	OK	OAK	12"	G00D	43	OK	OAK	10"	G00D
20	HM	HEMLOCK	16"	G00D	44	OK	OAK	12"	G00D
21	OK	OAK	20"	G00D	45	OK	OAK	8"	G00D
22	OK	OAK	16"	G00D	46	OK	OAK	14"	G00D
23	OK	OAK	18" TW	G00D	47	OK	OAK	8"	G00D
24	OK	OAK	14"	G00D					

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SITE NAME: NELSONVILLE
SITE NUMBER: NY170
TAX PARCEL: 49.6-1-7

<i>N.O.</i>	<i>REVISION</i>	<i>DATE</i>	<i>B</i>
1.	REVISED PER TOWN COMMENTS	12/19/2017	P
	<i>Previous Editions Obsolete</i>		

Previous Editions Obsolete

TREE REMOVAL PLAN

**HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY**

Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Meyer Consulting, Inc.
120 BEDFORD ROAD • ARMONK, NY 10504
voice 914.273.5225 • fax 914.273.2102
www.jmcpllc.com

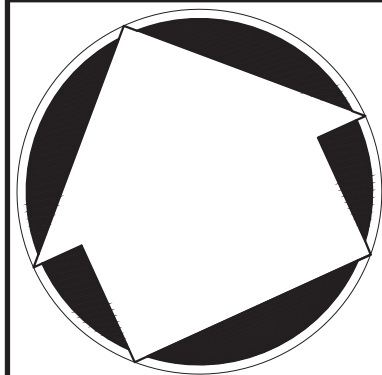
APPLICANT:

HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CT 06810

Architecture & Land Surveying, Inc.
 Site Development Consultants
 John Meyer Consulting, Inc.

120 BEDFORD ROAD • ARMONK, NY 10504
voice 914.273.5225 • fax 914.273.2102

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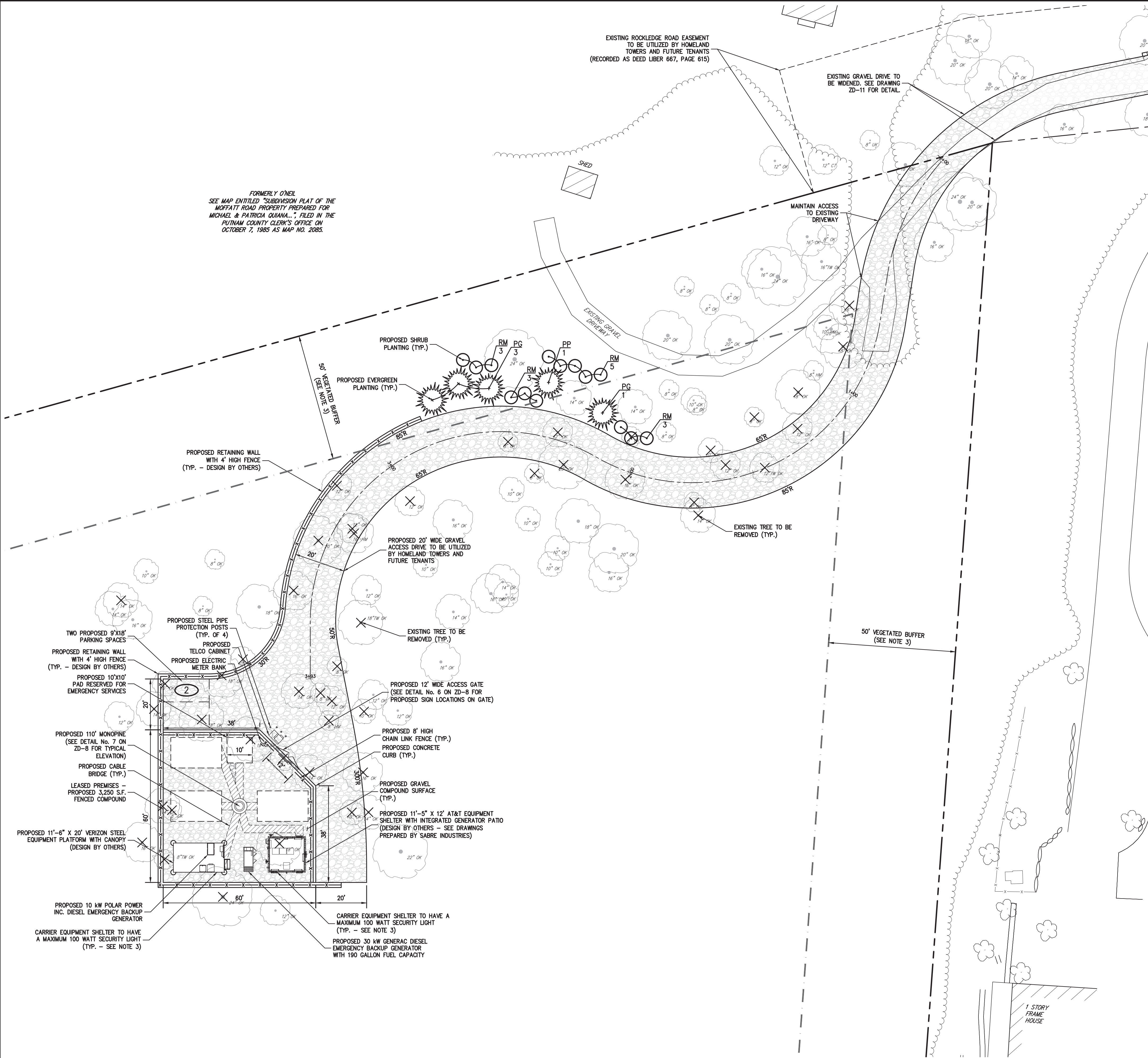


LEGEND

	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING UTILITY POLE
	EXISTING OVERHEAD WIRES
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL

NOTES:

1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A DRAWING TITLED "SURVEY OF PROPERTY" PREPARED BY BADEY & WATSON SURVEYING & ENGINEERING, PC, DATED 03/21/2017.
2. SUPPLEMENTAL EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM PUTNAM COUNTY GEOGRAPHIC INFORMATION SYSTEMS. THIS INFORMATION IS APPROXIMATE AND SHOULD BE USED FOR PLANNING PURPOSES ONLY.
3. AS PART OF THIS APPLICATION, 47 TREES ARE PROPOSED TO BE REMOVED. THE TREES PROPOSED TO BE REMOVED ARE IN THE COMPOUND AND ACCESS DRIVE AREAS, AS WELL AS AREAS OF SIGNIFICANT EARTHWORK. PURSUANT TO RULES CODE 18B C.O.G.O., TREES WITHIN FIFTY FEET OF THE PROPERTY LINE WILL BE PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE.



LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING BUILDING LINE
	PROPOSED GRAVEL SURFACE
	PROPOSED CABLE BRIDGE
	PROPOSED FENCE
	PROPOSED CONCRETE CURB
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED STEEL PROTECTION POST
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	PROPOSED EVERGREEN PLANTING
	PROPOSED SHRUB PLANTING

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A DRAWING TITLED "SURVEY OF PROPERTY" PREPARED BY BADEY & WATSON SURVEYING & ENGINEERING, PC, DATED 03/21/2017.
 - FINAL UNDERGROUND ELECTRIC AND TELECOMMUNICATIONS SERVICE ROUTING TO BE DETERMINED AFTER CONSULTING WITH PROVIDER.
 - ANY LIGHTING REQUIRED BY TENANT/CARRIER EQUIPMENT SPECIFICATIONS SHALL CONFORM TO VILLAGE CODE REQUIREMENTS, BE CONTROLLED BY A MANUAL TIMER, AND FACE DOWNWARD SO AS TO NOT SPILL ONTO ADJACENT PROPERTIES.

PLANT SCHEDULE						
SYMBOL	QUANTITY	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT CONDITION	COMMENTS
TREES						
PG	4	PICEA GLAUC	WHITE SPRUCE	8'-10' HT	B&B	X
PP	1	PICEA PUNGENS 'GLAUC'	COLORADO BLUE SPRUCE	8'-10' HT	B&B	X
SHRUBS						
RM	14	RHODODENDRON MAXIMUM	ROSEBAY RHODODENDRON	5'-6' HT	B&B	X

CARRIER
Emergency Contact Information
Cell Site # _____
To Report An Emergency,
Specify the Cell Site Number above and Call
The Network Operations Control Center at: _____
This Communication Facility is Protected And Licensed
By The FCC, KNKA201.
No Solicitation
No Trespassing
Violators Will Be Prosecuted To The Full Extent Of The Law.
(WHITE METAL SIGN WITH BLACK LETTERING)

NOTICE
HF Controlled Area Beyond This Point
Radio frequency (RF) emissions may exceed FCC
limits for general public exposure. Only authorized
personnel are permitted to enter.
For more information, please call 1-888-263-0235 and reference
Site Number: 3013034206.
(To coordinate with FCC when cell site flagging customer PPS 1.1.2015)
(WHITE METAL SIGN WITH BLACK LETTERING)

SIGN 'A'
10' X 10'
HOMELAND TOWERS
HOMELAND TOWERS, LLC
IN CASE OF EMERGENCY
CALL (914) 490-0124
(WHITE SIGN W/BLACK AND WHITE LOGO AND RED LETTERING)

SIGN 'C'
11'-6" X 20'
HOMELAND TOWERS, LLC
IN CASE OF EMERGENCY
CALL (914) 490-0124
(WHITE SIGN W/BLACK AND WHITE LOGO AND RED LETTERING)

NOTES:
1. SEE DETAIL No. 6 ON DRAWING ZD-8 FOR SIGN POSITIONING ON GATE.

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SPECIFICATIONS, PLATS AND
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OF A LICENSED PROFESSIONAL
ENGINEER OR LICENSED LAND
SURVEYOR IS A VIOLATION OF
SECTION 7209 OF THE NEW
YORK STATE EDUCATION LAW,
EXCEPT AS PROVIDED FOR BY
SECTION 7209, SUBSECTION 2.

GRAPHIC SCALE
0 20 40 60 80 100
1" = 20'

SITE NAME: NELSONVILLE
SITE NUMBER: NY170
TAX PARCEL: 49.6-1-7

NO.	REVISION	DATE	BY	PD	APPROVED	JS
1.	ADDED TREE REMOVAL AND EQUIPMENT SPECIFICATIONS	10/02/2017	PD			
2.	REVISED PER TOWN COMMENTS	12/19/2017	PD			
Previous Editions Obsolete						

PROJECT NO: 16237
DWC: 16237-2D
TAR: LAYOUT
SOP: 2 LAYOUT
DRAWING NO: ZD-5

HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CT 06810

JMC Planning, Engineering, Landscape
Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Meyer Consulting, Inc.
120 BEDFORD ROAD - ARMONK, NY 10504
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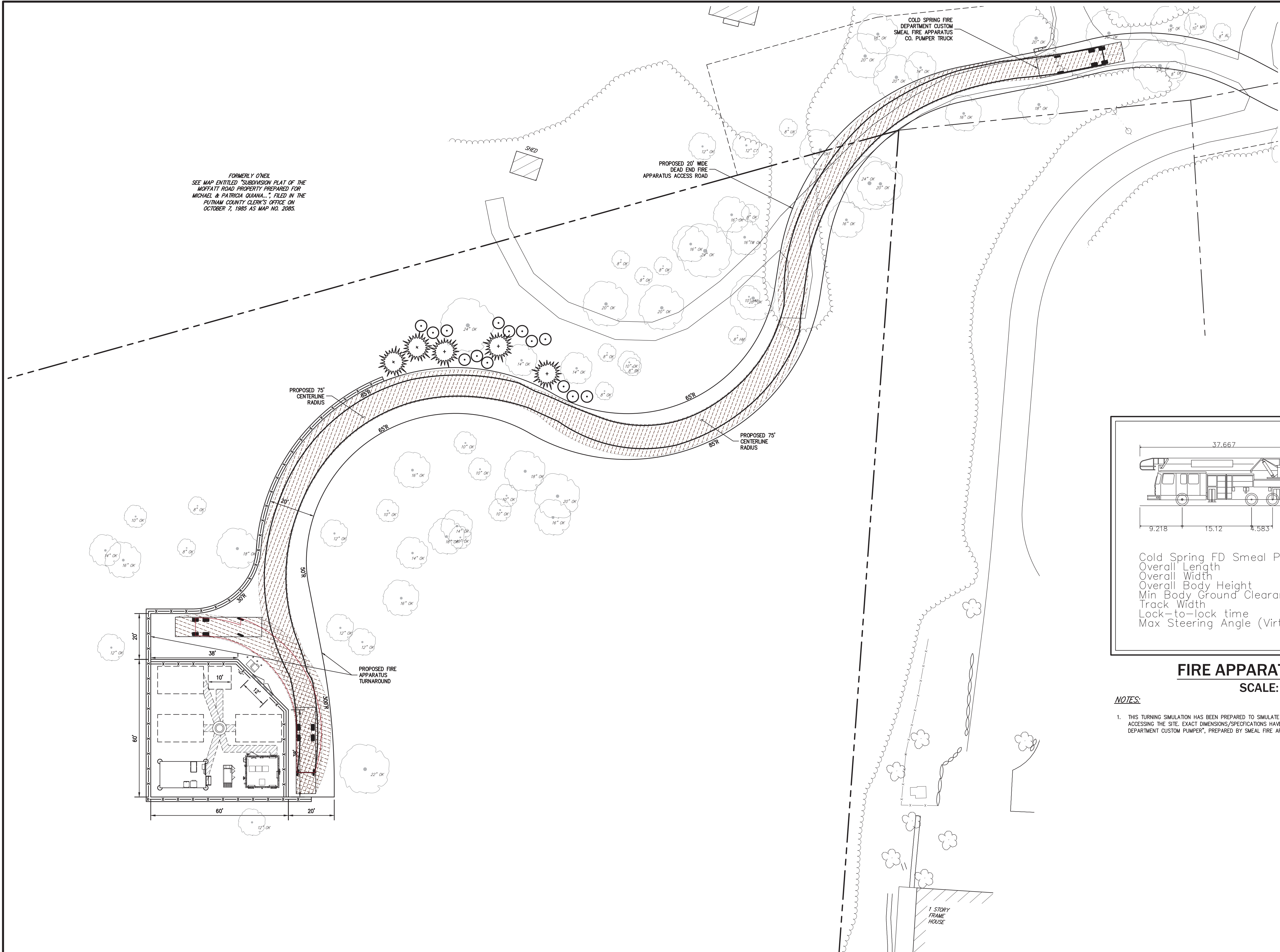
**SITE LAYOUT AND
LANDSCAPING PLAN**
HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

ZD-5

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Respect The Marks
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FORMERLY O'NEIL
SEE MAP ENTITLED "SUBDIVISION PLAT OF THE
MOFFATT ROAD PROPERTY PREPARED FOR
MICHAEL & PATRICIA QUANA...", FILED IN THE
PUTNAM COUNTY CLERK'S OFFICE ON
OCTOBER 7, 1985 AS MAP NO. 2085.

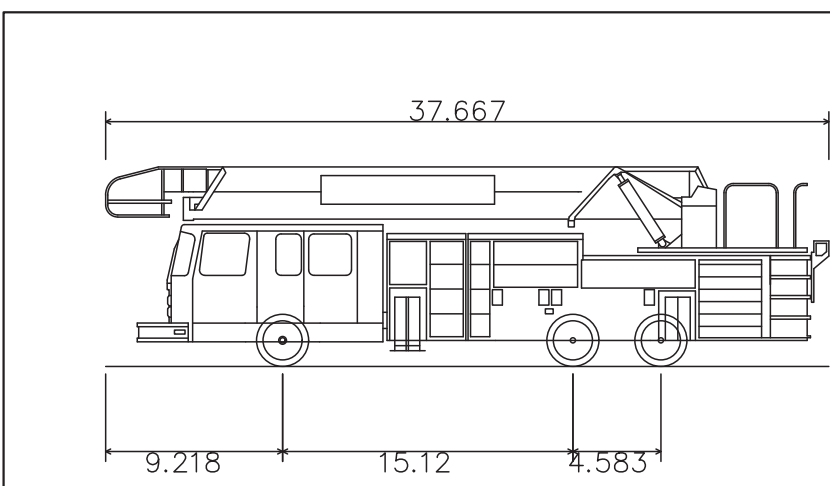
PROPOSED 20' WIDE
DEAD END FIRE
APPARATUS ACCESS ROAD

1 STORY
FRAME
HOUSE

LEGEND

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING BUILDING LINE
- PROPOSED GRAVEL SURFACE
- PROPOSED CABLE BRIDGE
- PROPOSED FENCE
- PROPOSED CONCRETE CURB
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- PROPOSED STEEL PROTECTION POST
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- PROPOSED EVERGREEN PLANTING
- PROPOSED SHRUB PLANTING

NOTES:
1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A DRAWING TITLED "SURVEY OF PROPERTY" PREPARED BY BADEY & WATSON SURVEYING & ENGINEERING, PC, DATED 03/21/2017.



Cold Spring FD Smeal Pumper
Overall Length 37.667ft
Overall Width 8.500ft
Overall Body Height 10.388ft
Min Body Ground Clearance 0.819ft
Track Width 7.753ft
Lock-to-lock time 4.00s
Max Steering Angle (Virtual) 33.00°

FIRE APPARATUS PROFILE
SCALE: N.T.S.

NOTES:
1. THIS TURNING SIMULATION HAS BEEN PREPARED TO SIMULATE THE COLD SPRING FIRE DEPARTMENT'S LARGEST APPARATUS ACCESSING THE SITE. EXACT DIMENSIONS/SPECIFICATIONS HAVE BEEN TAKEN FROM A DRAWING TITLED "COLD SPRING FIRE DEPARTMENT CUSTOM PUMPER", PREPARED BY SMEAL FIRE APPARATUS CO., DATED 01/30/2009.

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GRAPHIC SCALE
0 20 40 60 80 100
1" = 20'

SITE NAME: NELSONVILLE
SITE NUMBER: NY170
TAX PARCEL: 49.6-1-7

NO.	REVISION	DATE	BY	PD	APPROVED	JS
1.	REVISED PER TOWN COMMENTS	12/19/2017	PD			

SCALE: 1" = 20'
DATE: 07/11/2017
PROJECT NO: 16237
DWG: 16237-2D
TAR: TTP
SOP: 2_LAYOUT
DRAWING NO: ZD-6

HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CT 06810

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC
JMC Site Development Consultants, LLC
John Meyer Consulting, Inc.
120 BEDFORD ROAD - ARMONK, NY 10504
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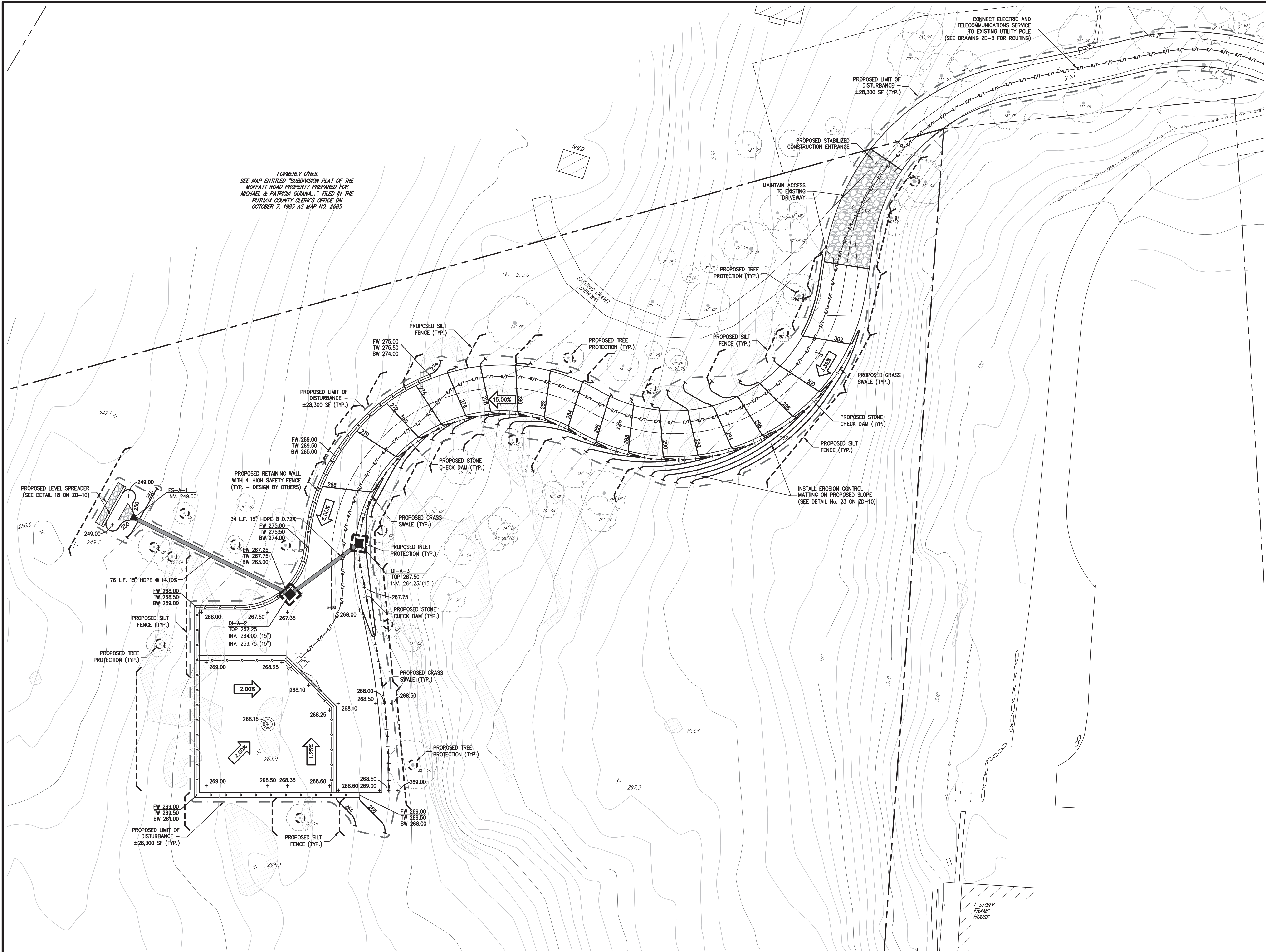
FIRE APPARATUS ACCESS PLAN
HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

ZD-6

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LEGEND	
	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	EXISTING STONE WALL
	PROPOSED CABLE BRIDGE
	PROPOSED ACCESS DRIVE
	PROPOSED FENCE
	PROPOSED UNDERGROUND ELECTRIC & TELECO SERVICE
	PROPOSED FINISHED GRADE
	PROPOSED SPOT GRADE
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED INLET PROTECTION
	PROPOSED SILT FENCE
	PROPOSED SWALE LINE
	PROPOSED STONE CHECK DAM
	PROPOSED CONCRETE CURB
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED STEEL PROTECTION POST
	PROPOSED DRAIN INLET
	PROPOSED STORM PIPE

- NOTES:**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A DRAWING TITLED "SURVEY OF PROPERTY" PREPARED BY BADEY & WATSON SURVEYING & ENGINEERING, PC, DATED 03/21/2017.
 - SUPPLEMENTAL EXISTING CONDITIONS HAVE BEEN TAKEN FROM PUTNAM COUNTY GEOGRAPHIC INFORMATION SYSTEMS. THIS INFORMATION SHOULD BE CONSIDERED APPROXIMATE AND USED FOR PLANNING PURPOSES ONLY.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL THE PLANS, PRIOR TO BEGINNING ANY CLEARING, GRUBBING OR EXCAVATION.
 - EXPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEED WITH THE FOLLOWING GRASS MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION AT A RATE OF 8 POUNDS PER 1000 S.F. IN THE FOLLOWING PROPORTIONS:
CREEPING RED FESCUE 30 %
PERENNIAL RYE GRASS 70 %
 - GRASS SEED MIX FOR EROSION AND SEDIMENT CONTROL MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN, AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
 - ALL DISTURBED AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE (90 LBS. PER 1,000 S.F.) SUCH THAT THE MULCH FORMS A CONTINUOUS BLANKET.
 - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED ON A DAILY BASIS BY THE CONTRACTOR. ALL COLLECTED SEDIMENT WITHIN SEDIMENT BARRIERS SHALL BE REMOVED PERIODICALLY TO MAINTAIN THE FUNCTION OF THE SEDIMENT BARRIER. ALL SEDIMENT COLLECTED SHALL BE RESPAID ON-SITE WITHIN STABILIZED AREAS AS DIRECTED BY THE OWNERS FIELD REPRESENTATIVE.
 - DUST SHALL BE CONTROLLED BY SPRINKLING OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE VILLAGE ENGINEER.
 - CUT AND FILLS SHALL NOT ENDANGER ADJOINING PROPERTIES, NOR DIVERT WATER ONTO THE PROPERTY OF OTHERS.
 - ALL FILLS SHALL BE COMPACTED TO PROVIDE STABILITY OF MATERIAL AND TO PREVENT SETTLEMENT.
 - THE CONTRACTOR SHALL INSPECT DOWNSTREAM CONDITIONS FOR EVIDENCE OF SEDIMENTATION ON A WEEKLY BASIS AND AFTER RAINSTORMS.
 - AS WARRANTED BY FIELD CONDITIONS, SPECIAL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AS REQUIRED.
 - FINAL UNDERGROUND ELECTRIC AND TELECOMMUNICATIONS SERVICE ROUTING TO BE DETERMINED AFTER CONSULT WITH PROVIDER.
 - UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM F-2648. JOINTS SHALL BE WATERTIGHT IN ACCORDANCE WITH ASTM D-3212.
 - ELECTRIC / TELECOMMUNICATION LINES SHALL BE INSTALLED UNDERGROUND IN CONDUIT IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.

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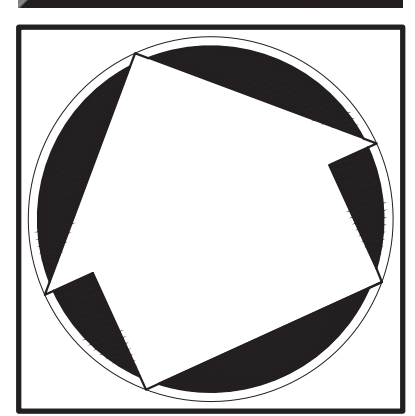
GRAPHIC SCALE	
0 10 20 30 40 50	
1" = 10'	
SITE NAME: NELSONVILLE	
SITE NUMBER: NY170	
TAX PARCEL: 49.6-1-7	

NO.	REVISION	DATE	BY
1.	REVISED PER TOWN COMMENTS	12/19/2017	

DRAWN	PD	APPROVED	JS
SCALE: 1" = 20'			
DATE: 07/11/2017			
PROJECT NO: 16237			
DWG:	TAB:	SOR:	
16237-D	G-U-SE	1, DRAD-UTL-SE	
DRAWING NO: ZD-7			

HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CT 06810

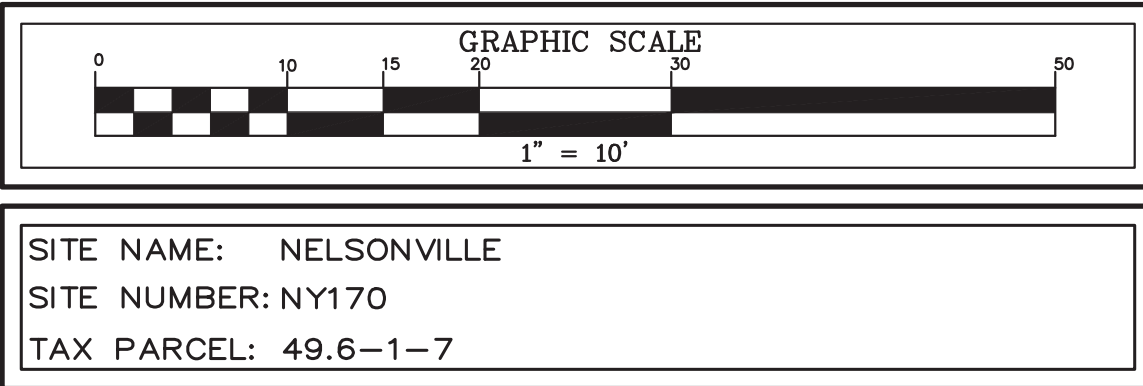
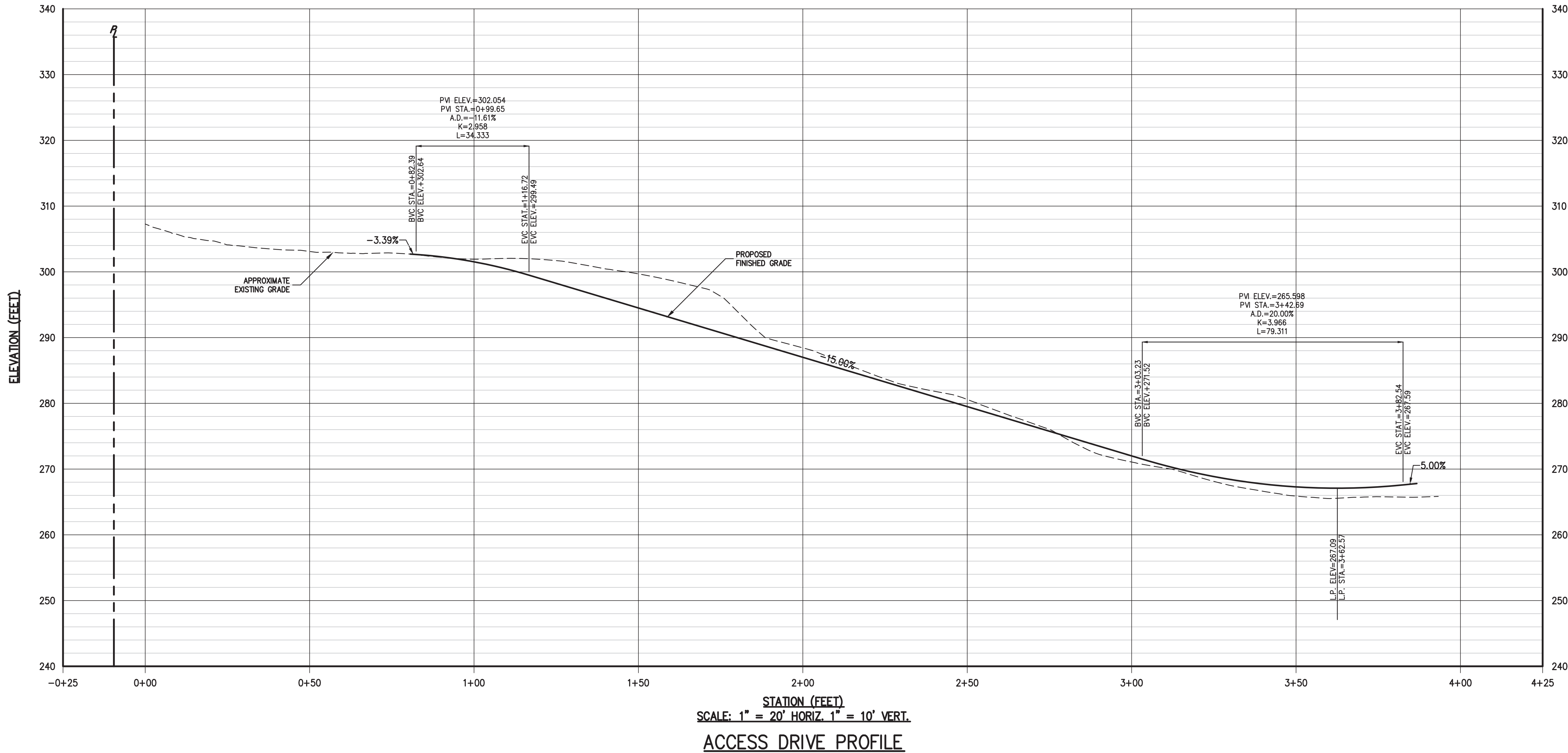
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JMC Site Development Consultants, LLC
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voice 914.273.6225 • fax 914.273.2102
www.jmcplc.com



SITE GRADING, UTILITIES, AND EROSION & SEDIMENT CONTROL PLAN
HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

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NO.	REVISION	DATE	BY
1.	REVISED PER TOWN COMMENTS	12/19/2017	PD

Previous Editions Obsolete

DRAWN: PD	APPROVED: JS
SCALE: AS SHOWN	
DATE: 07/11/2017	
PROJECT NO: 16237	
DWG: 16237-01	SOP: 3.00AD-UTIL-SE
DATE: 07/11/2017	
DRAWING NO: ZD-7A	

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ACCESS DRIVE PROFILE

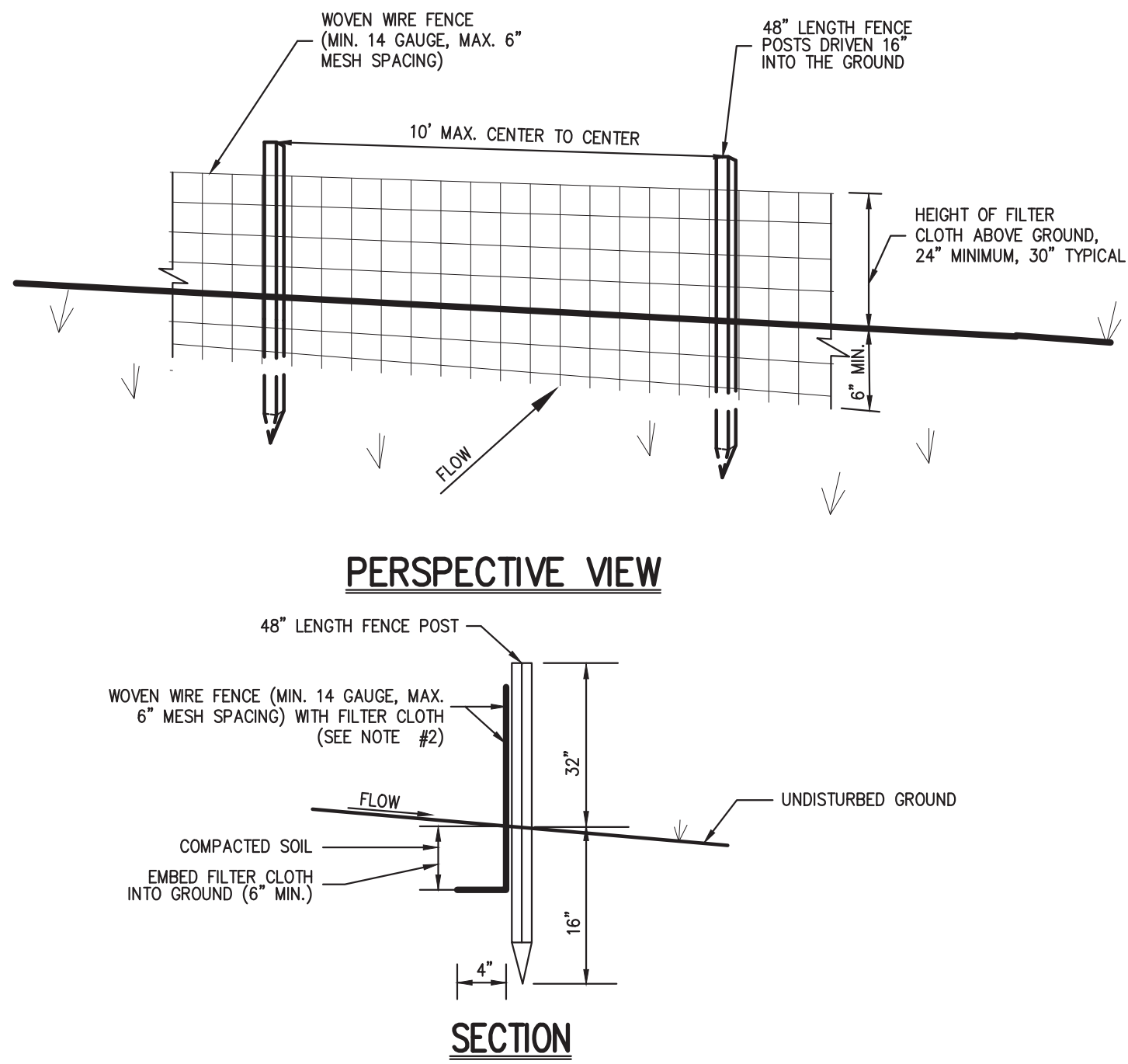
HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY



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HOMELAND TOWERS, LLC
9 HARMONY STREET, 2ND FLOOR
DANBURY, CT 06810

APPENDIX



- NOTES:**
1. WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER T OR U TYPE OR HARDWOOD.
 2. FILTER CLOTH SHALL BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABLUNKA 110N, OR APPROVED EQUAL.
 4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUAL.
 5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE

1

EXCAVATED DROP INLET PROTECTION

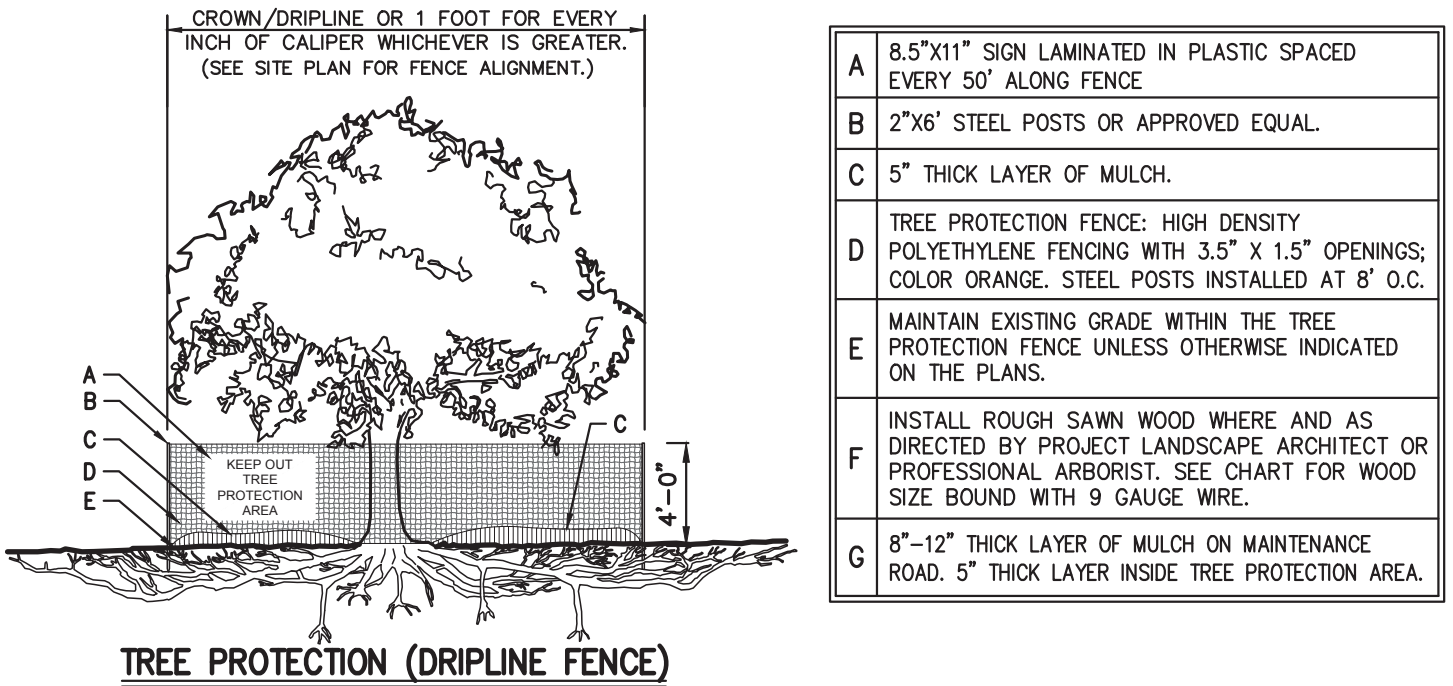
2

STABILIZED CONSTRUCTION ENTRANCE

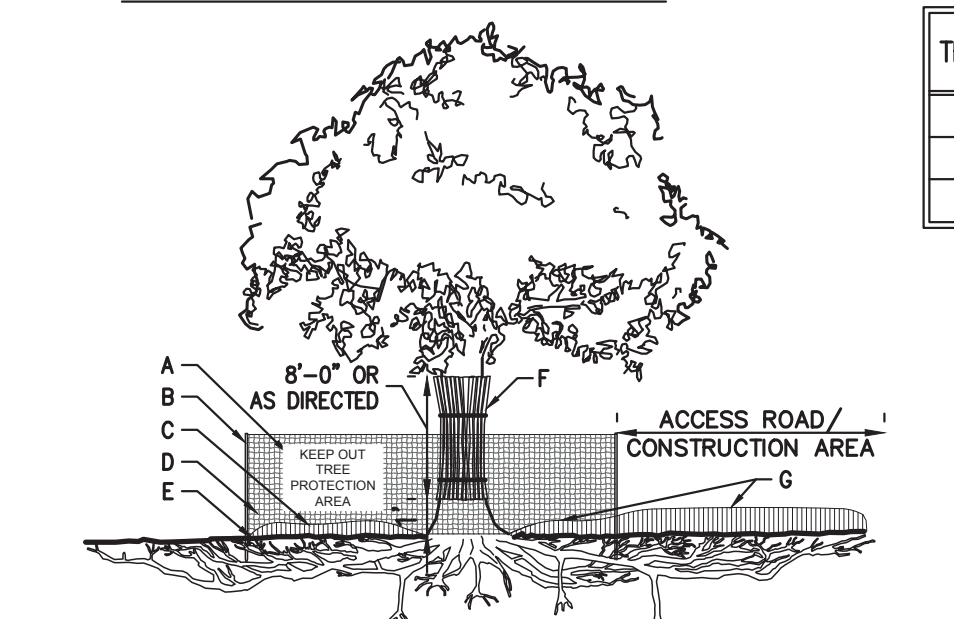
3

STONE CHECK DAM

4



TREE DIAMETER	ROUGH SAWN WOOD SIZE
<12"	2"x2"
13"-24"	2"x4"
>25"	2"x6"

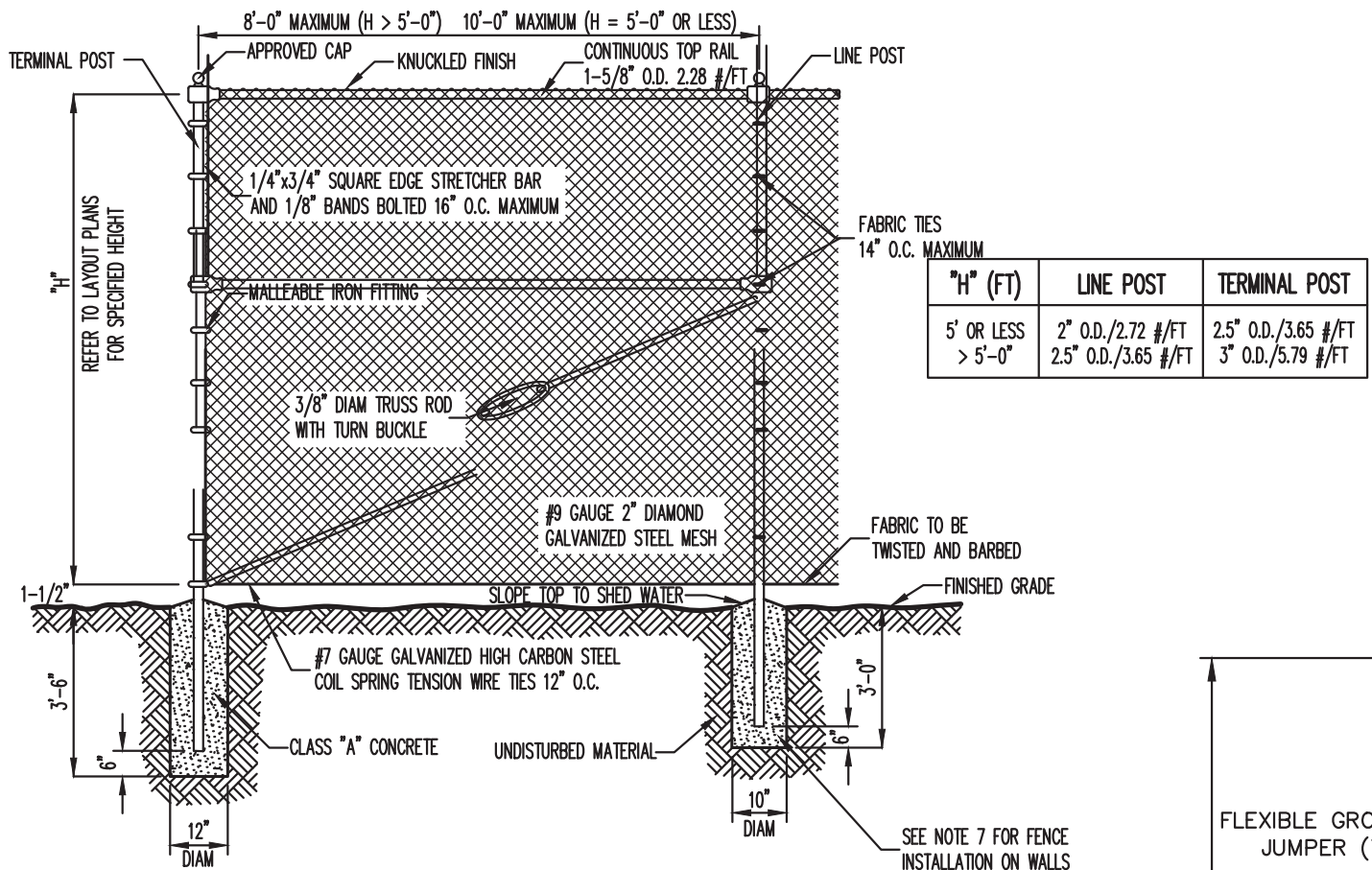


TREE PROTECTION W/ ACCESS ROAD/CONSTRUCTION AREA (DRIPLINE FENCE)

- NOTES:**
1. SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
 2. IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
 3. NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
 4. NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
 5. SEE SITE PLANS FOR IDENTIFICATIONS/LOCATIONS OF INDIVIDUAL TREES TO BE PROTECTED.
 6. ALL EXCAVATION WITHIN THE CROWN/DRIPLINE OF ANY TREE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE PROJECT LANDSCAPE ARCHITECT OR PROFESSIONAL ARBORIST. SPECIAL MEASURES, SUCH AS THE USE OF AN AIR SPADE MAY BE REQUIRED.
 7. THE CONTRACTOR MAY PROPOSE THE USE OF ENGINEERED MATTING OR OTHER ENGINEERED PRODUCTS IN LIEU OF MULCH, WHICH SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF ALL AUTHORITIES HAVING JURISDICTION.

TREE PROTECTION

5

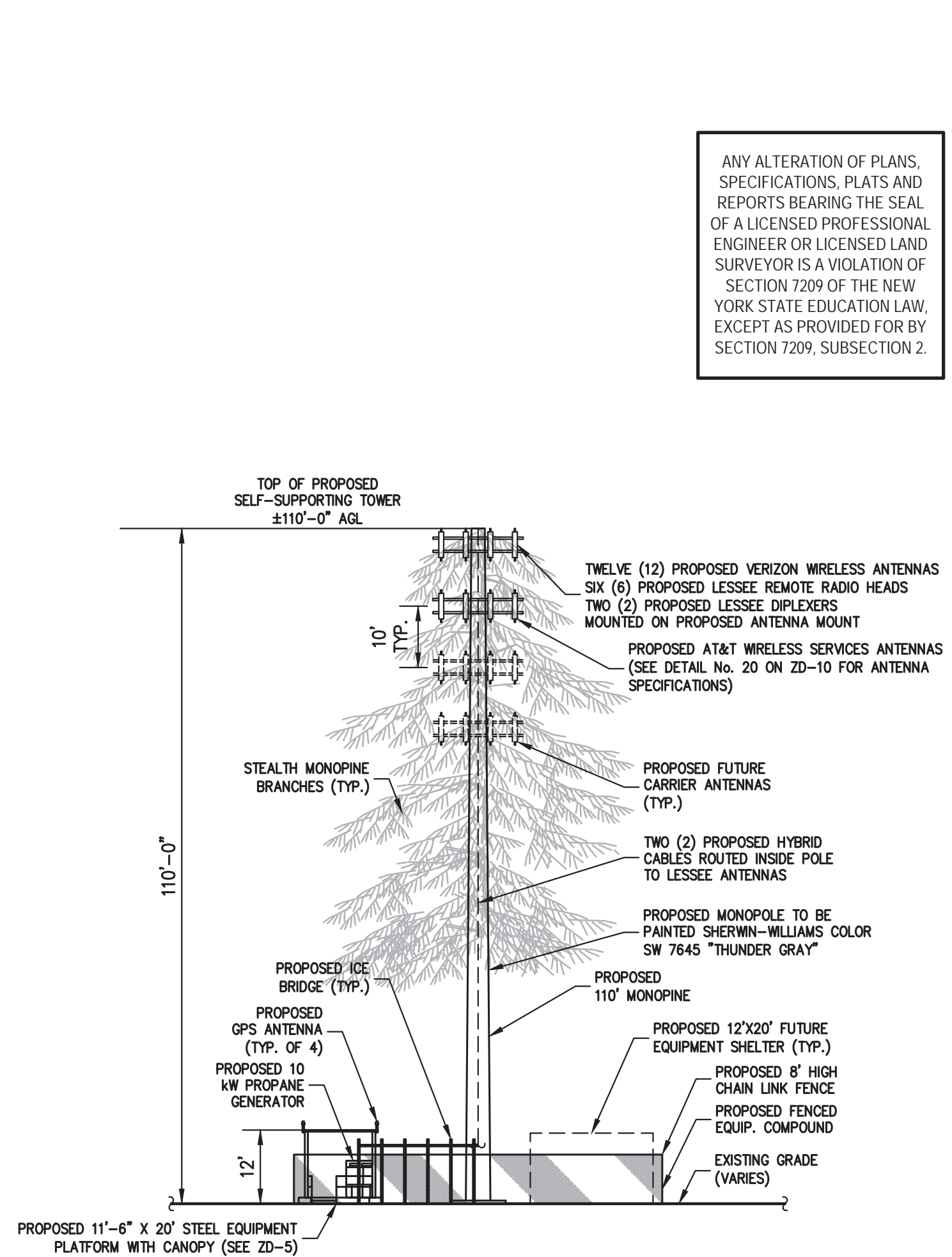
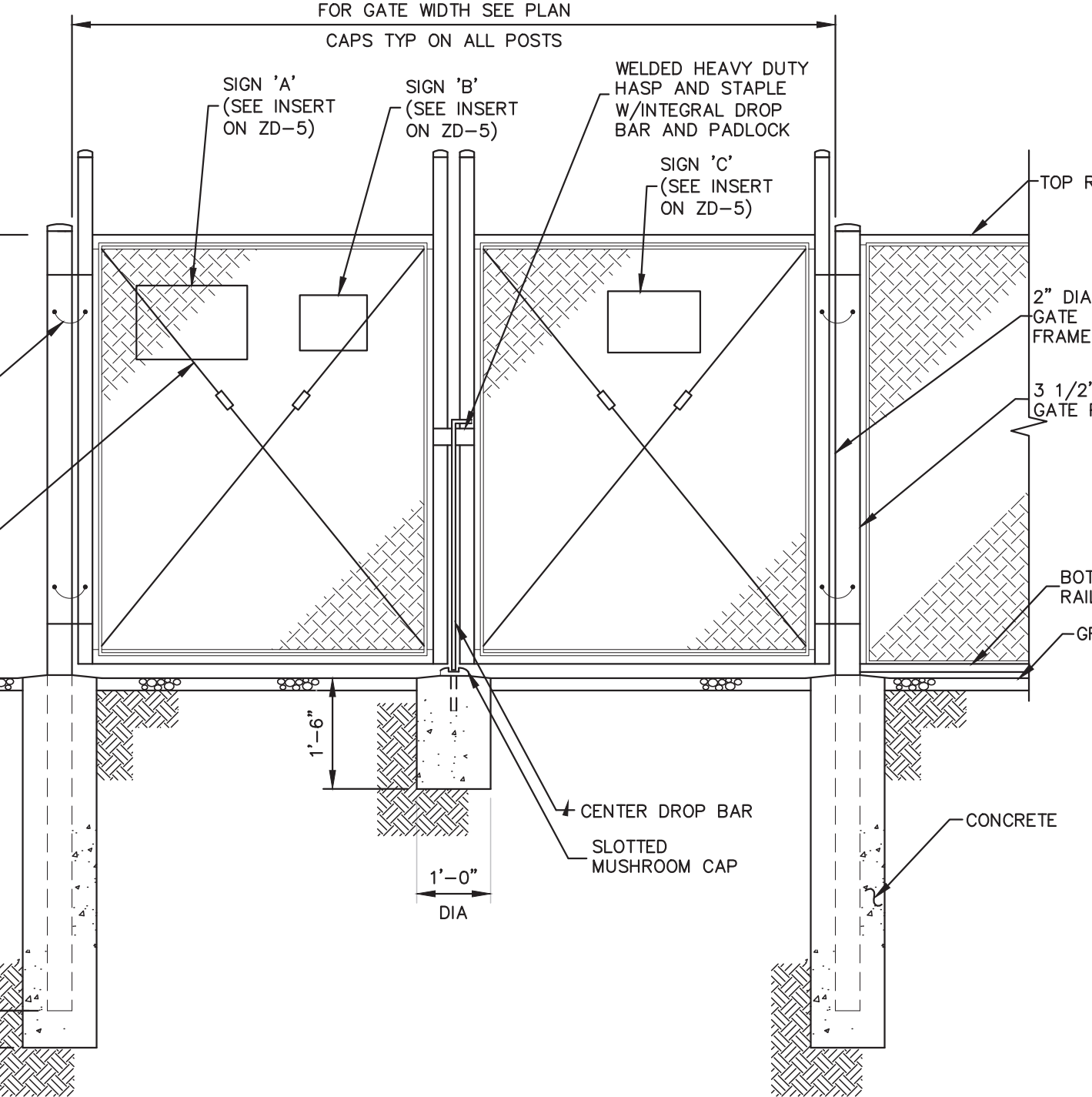


- NOTES:**
1. ALL POSTS, RAILS, FABRIC AND ACCESSORIES SHALL BE GALVANIZED.
 2. POST AND RAILS SHALL BE STANDARD FULL WEIGHT GALVANIZED SCHEDULE 40 PIPE MANUFACTURED AND GALVANIZED IN ACCORDANCE WITH ASTM A120. ALL MATERIALS SHALL BE NEW AND FIRST CLASS AND SHALL NOT INCLUDE RECONDITIONED OR ROLLED PIPE.
 3. FITTINGS SHALL BE MALLEABLE IRON FITTINGS CONFORMING TO THE REQUIREMENTS OF ASTM A47 GALVANIZED IN ACCORDANCE WITH ASTM A153.
 4. FABRIC SHALL BE 9 GAUGE GALVANIZED 2" MESH. TOP SELVAGE SHALL HAVE KNUCKLED FINISH.
 5. TENSION WIRE SHALL BE 7 GAUGE MEETING THE REQUIREMENTS OF ASTM A641 AS MODIFIED HEREIN. THE TENSILE STRENGTH SHALL BE AT LEAST 80,000 PSI WITH A GALVANIZED COATING OF NOT LESS THAN 0.7 OZ. PER SQUARE FOOT.
 6. FABRIC TIES SHALL BE MINIMUM 9 GAUGE GALVANIZED STEEL OR ALUMINUM. MINIMUM SPACING SHALL BE AS FOLLOWS:
A. 14" O.C. AT LINE POSTS
B. 24" O.C. AT TOP RAIL
C. 12" O.C. AT TENSION WIRE
 7. WHERE CHAIN LINK FENCE IS TO BE INSTALLED ON WALLS, THE FENCE POSTS SHALL BE IMBEDDED A MINIMUM OF TWELVE (12) INCHES IN THE WALL. NEWLY CONSTRUCTED WALLS SHALL BE PROVIDED WITH PROPER SIZE SLEEVES TO ACCOMMODATE FENCE POSTS. FENCE POSTS SHALL BE SECURELY GROUTED IN PLACE USING AN APPROVED HIGH STRENGTH, NON-SHRINKING, NON-STAINING GROUT.
 8. THE CONTRACTOR WILL BE REQUIRED TO SUBMIT SHOP AND ERECTION DRAWINGS INDICATING MATERIALS, SIZES AND DIMENSIONS OF FENCING TO THE OWNER'S FIELD REPRESENTATIVE PRIOR TO ORDERING MATERIALS FOR HIS REVIEW AND APPROVAL.
 9. PRIOR TO INSTALLATION OF THE FENCE, THE CONTRACTOR SHALL CHECK THE FENCE LAYOUT WITH THE OWNER'S FIELD REPRESENTATIVE WHO MUST APPROVE THE LAYOUT BEFORE ANY OF THE WORK IS TO BE DONE.
 10. FENCE SHALL COATED WITH BLACK VINYL AND BE FITTED WITH PRIVACY SLATS.

CHAIN LINK FENCE W/ ACCESS GATE

(BLACK VINYL COATED WITH PRIVACY SLATS)

6



ANTENNA ELEVATION

SCALE: 1" = 20'

7

- NOTES:**
1. STONE SIZE - USE 1" TO 4" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET.
 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
 4. WIDTH - 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 5. FILTER CLOTH TO BE PLACED OVER THE ENTIRE WIDTH AND LENGTH OF AREA PRIOR TO PLACING OF STONE.
 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURE USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

- CONSTRUCTION SPECIFICATIONS:**
1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
 2. SET SPACING OF CHECK DAMS TO ASSURE THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
 3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANK TO PREVENT CUTTING AROUND THE DAM.
 4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
 5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.

MAXIMUM DRAINAGE AREA 2 ACRES.

NO.	REVISION	DATE	BY	PD
1.	REVISED PER TOWN COMMENTS	12/19/2017		

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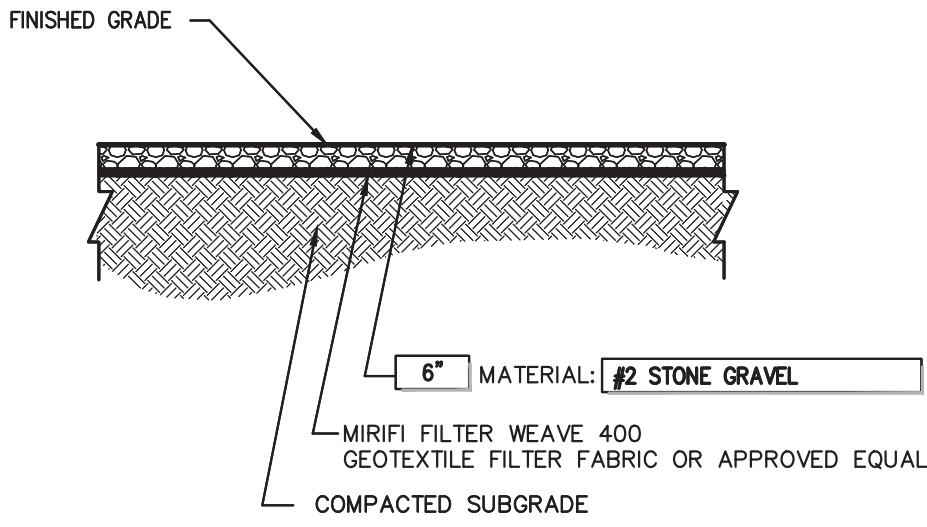


CONSTRUCTION DETAILS
HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

DRAWN	PD	APPROVED	JS
SCALE	N.T.S.		
DATE	07/11/2017		
PROJECT NO.	16237		
DWG.	16237-ZD-DETAILS	TAB	ZD-6
LS	--		
DRAWING NO.	ZD-8		

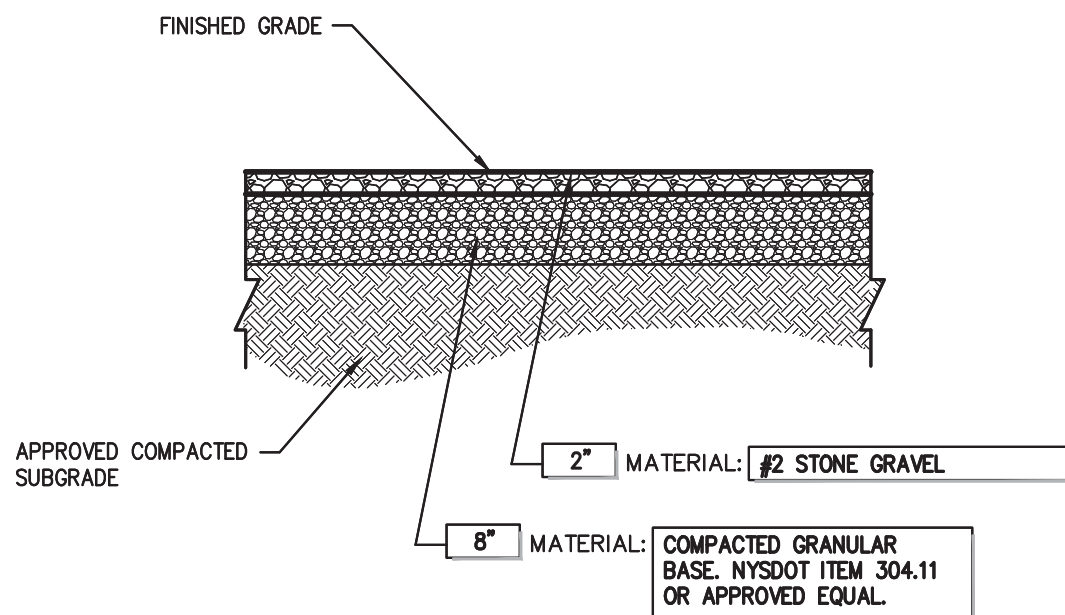
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NOT FOR CONSTRUCTION



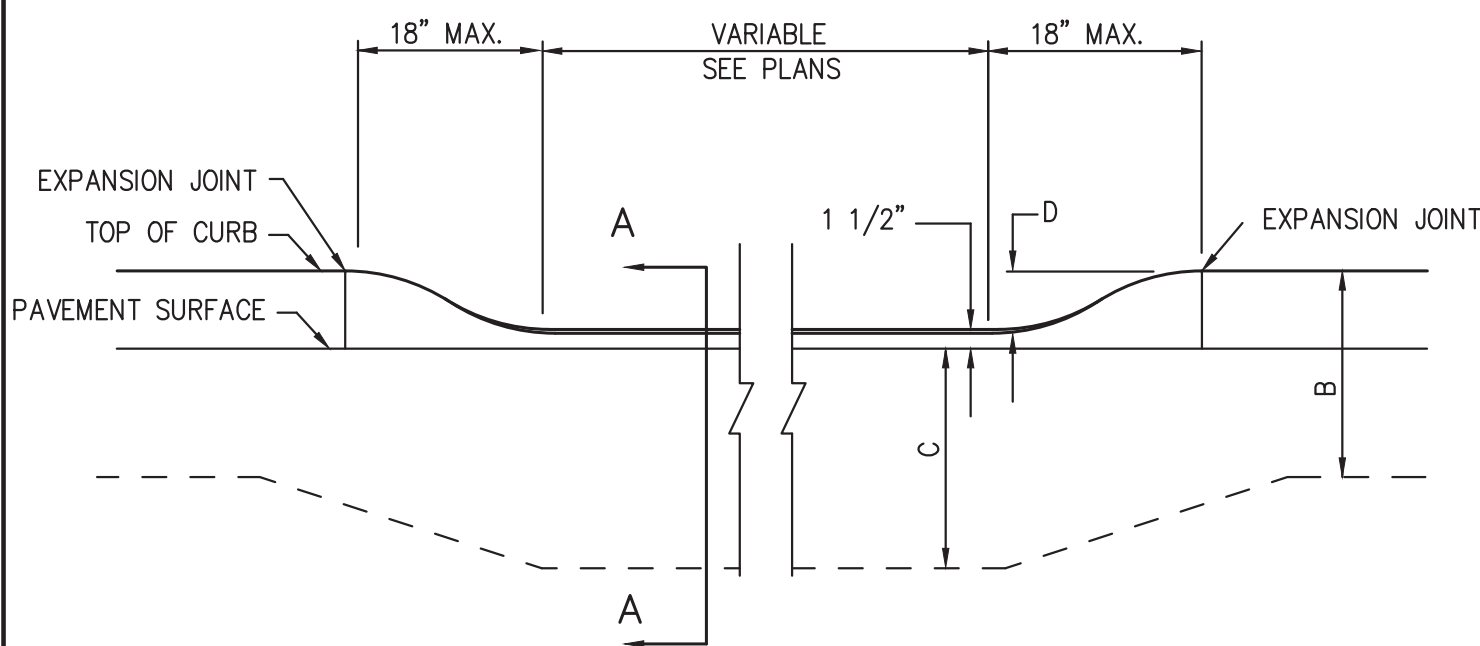
GRAVEL COMPOUND SURFACING

8

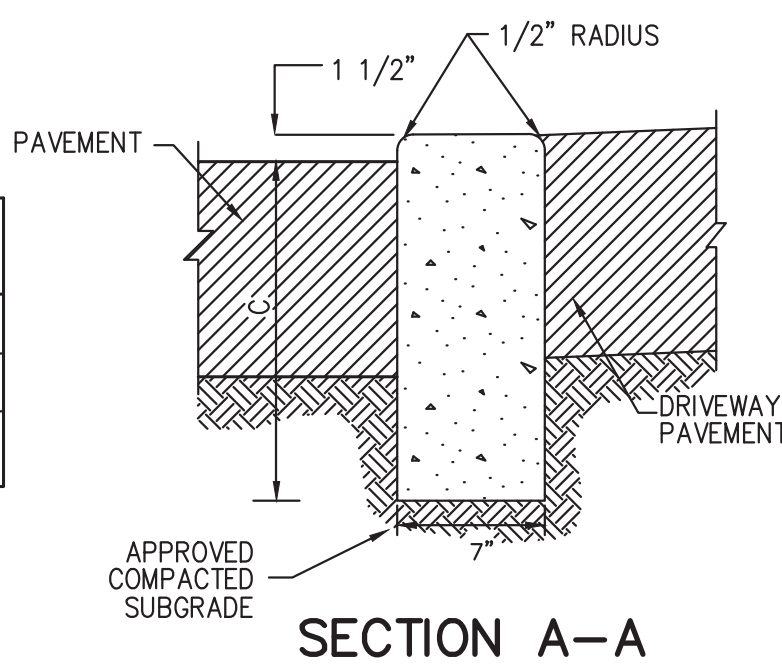


SITE FACILITY ACCESS DRIVE

9



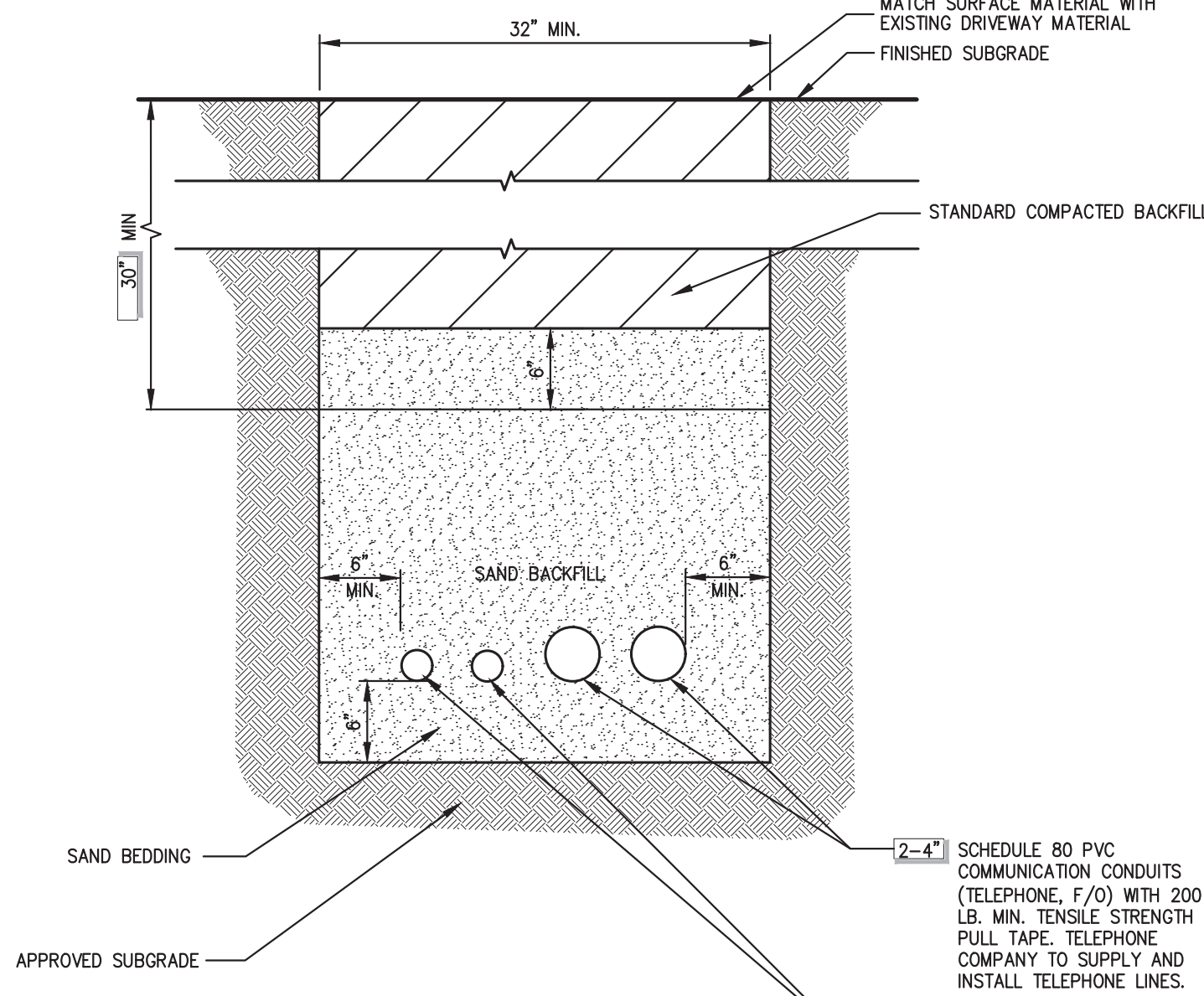
CURB SIZE	DIM. B	DIM. C	DIM. D
7" X 18"	18"	16"	4 1/2"
9" X 20"	20"	18"	4 1/2"
9" X 22"	22"	20"	4 1/2"



METHOD OF DEPRESSING CURB AT DRIVEWAYS

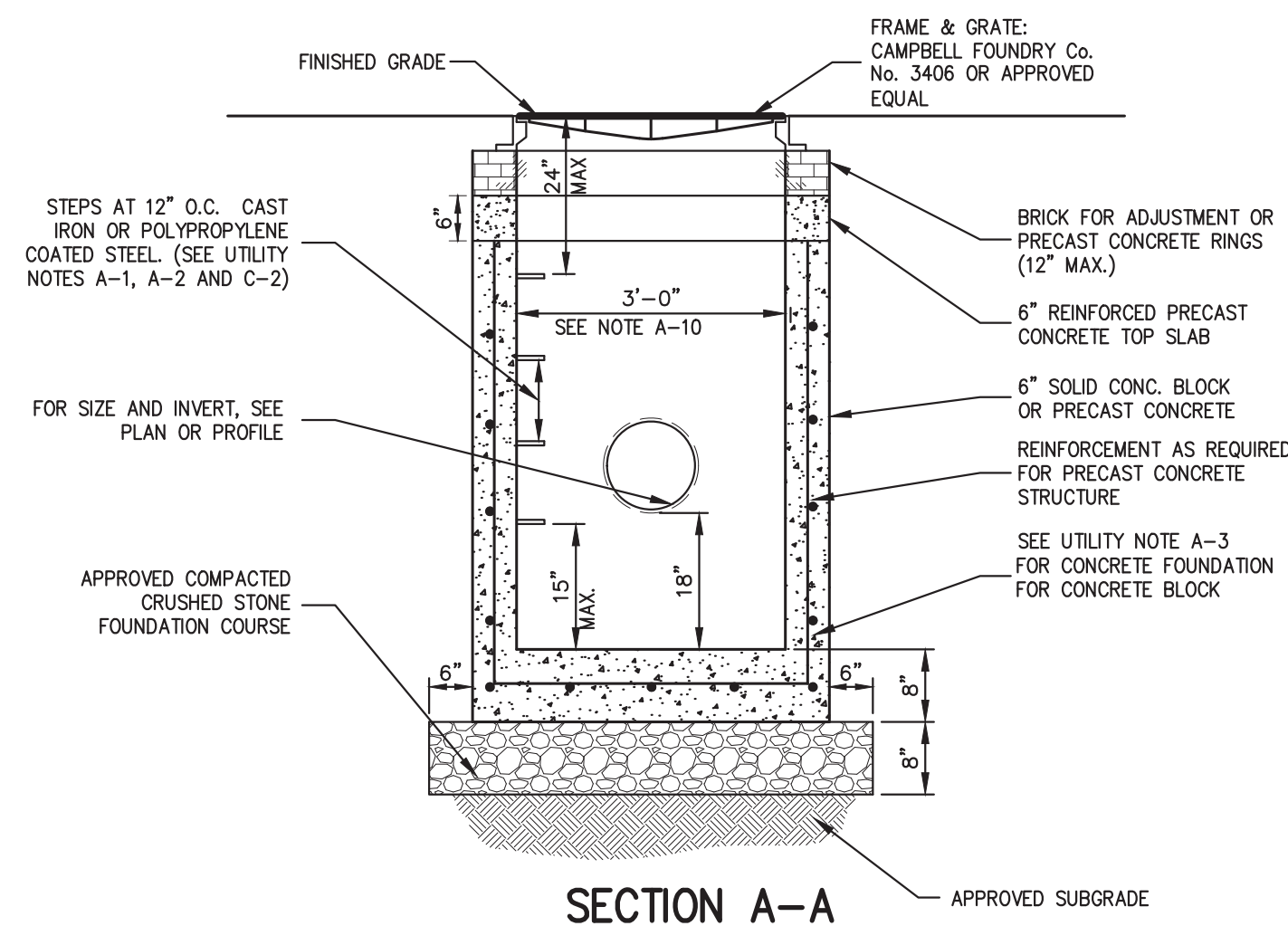
DEPRESSED CONCRETE CURB

14



NOTES:

- UTILITIES TO BE INSTALLED IN ACCORDANCE WITH THE REGULATIONS AND REQUIREMENTS OF THE UTILITY COMPANY HAVING JURISDICTION.
- BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES. UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN 92% MAXIMUM MODIFIED DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.

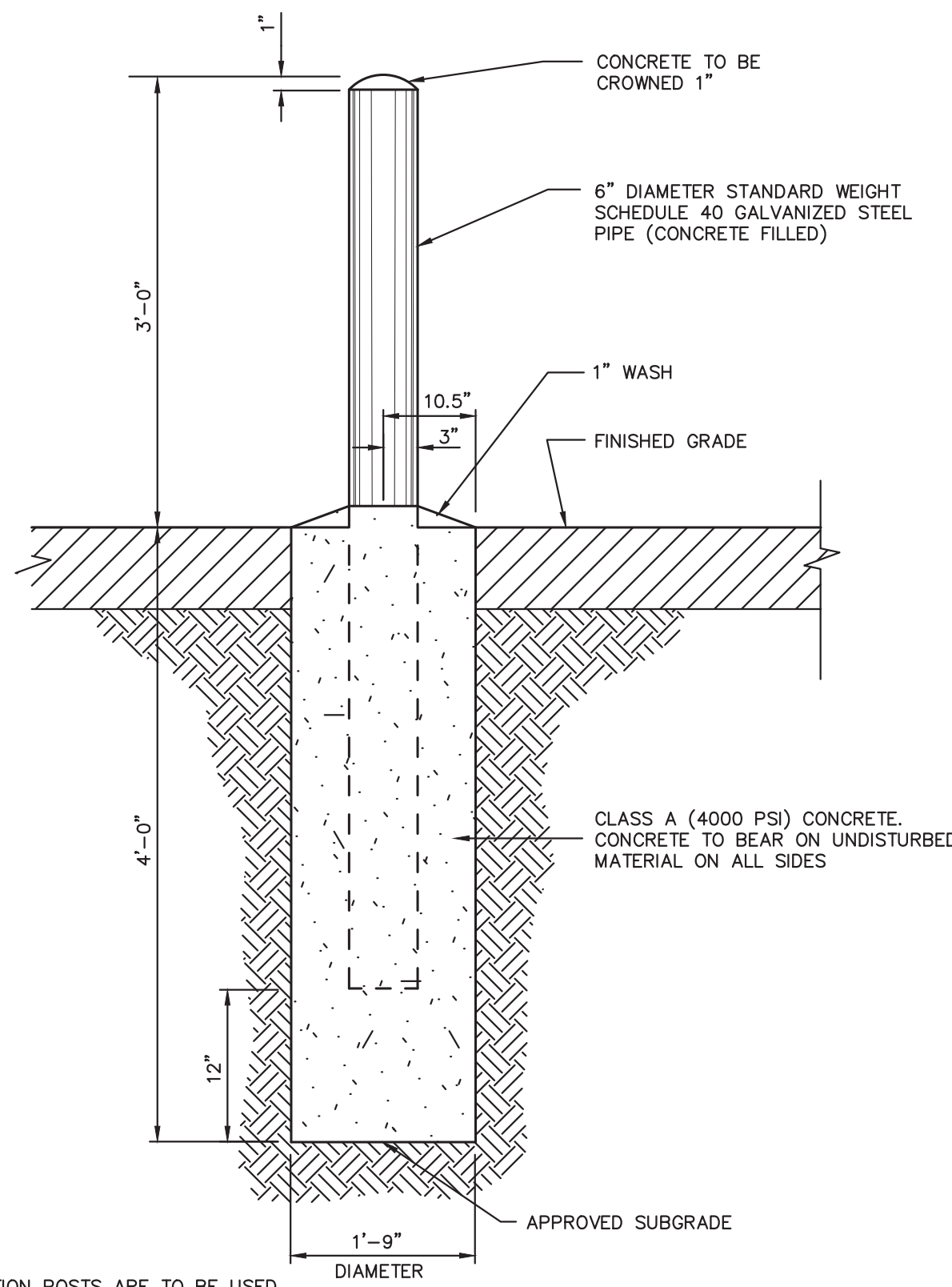


NOTE

- REINFORCE PRECAST CONCRETE TOP SLAB AND REINFORCE PRECAST CONCRETE STRUCTURE SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
- SEE NOTES PERTAINING TO DRAIN INLETS UNDER UTILITY NOTES.

DRAIN INLET (TYPE DI)

15

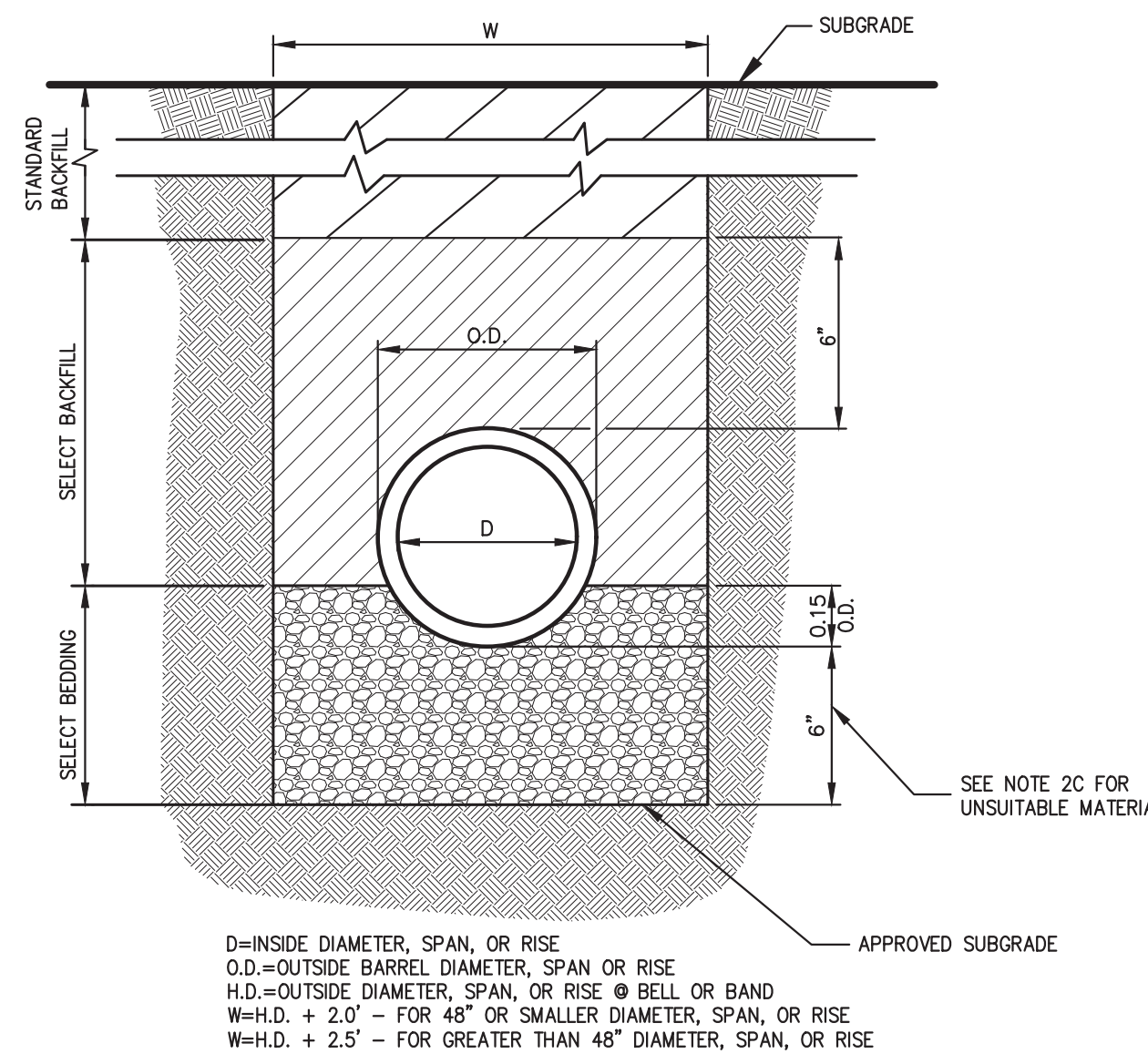


NOTES:

- WHEN PROTECTION POSTS ARE TO BE USED FOR PROTECTION OF HANDICAP PARKING SIGNS OR OTHER TRAFFIC SIGNS, SIGN SUPPORTING POSTS SHALL BE IMBEDDED A MINIMUM OF THREE (3) FEET INTO THE CONCRETE.
- POST FOR HANDICAP PARKING STALLS SHALL BE PAINTED BLUE AS FOLLOWS:
 - SOLVENT CLEAN TO REMOVE OIL, GREASE AND OTHER CONTAMINANTS.
 - APPLY METAL PRIMER FOR GALVANIZED SURFACES.
 - APPLY TWO (2) FINISH COATS OF APPROVED EXTERIOR PAINT FOR METAL SURFACES.

STEEL PIPE PROTECTION POST

11

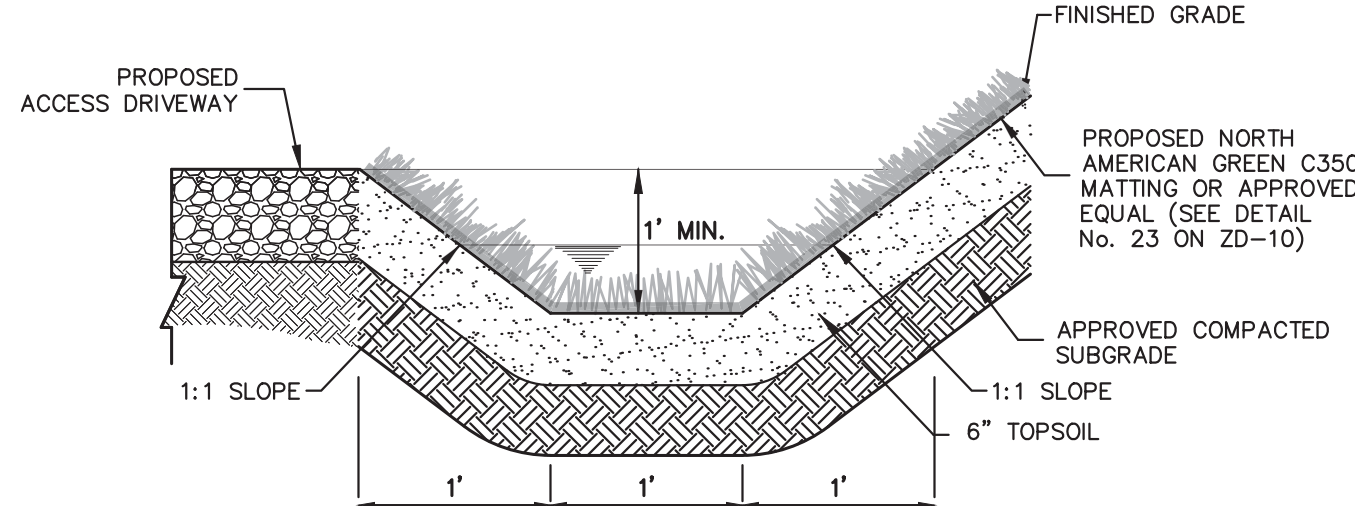


NOTES:

- FOR TYPE II TRENCH, MATERIAL FOR SELECT BEDDING AND SELECT BACKFILL SHALL BE:
 - EITHER SAND OR CRUSHED STONE IF NO WATER IS ENCOUNTERED IN TRENCH.
 - 3/4" CRUSHED STONE IF WATER IS ENCOUNTERED IN TRENCH.
- TYPE II TRENCH SHALL BE USED IN ALL OF THE FOLLOWING CASES:
 - FOR ALL HIGH DENSITY POLYETHYLENE PIPE (HDPE) AND PVC PIPE AND CONDUIT INSTALLATION.
 - WHEN ROCK OR HARDPAN IS ENCOUNTERED IN BOTTOM OF TRENCH.
 - WHEN UNSUITABLE MATERIAL IS ENCOUNTERED IN BOTTOM OF TRENCH. IN SUCH CASE DEPTH OF UNDERCUTTING SHALL BE AS DIRECTED BY THE ENGINEER WITH 6" MINIMUM.
- FOR ALL TRENCH EXCAVATION IN FILL AREAS, ALL EMBANKMENTS SHALL BE CONSTRUCTED TO A MINIMUM OF 2 FEET ABOVE THE OUTSIDE TOP (AT THE BELL) OF THE PIPE PRIOR TO BEGINNING ANY TRENCH EXCAVATION.
- BACKFILL FOR PIPE AND CONDUIT SHALL BE PLACED EVENLY AND CAREFULLY AROUND AND OVER THE PIPE OR CONDUIT IN SIX (6) INCH MAXIMUM LAYERS. EACH LAYER SHALL BE THOROUGHLY AND CAREFULLY COMPACTED UNTIL TWELVE (12) INCHES OF COVER EXISTS OVER THE PIPE OR CONDUIT. THE REMAINDER OF THE BACKFILL MAY THEN BE PLACED AND COMPACTED IN A MAXIMUM OF TWELVE (12) INCH LAYERS. EACH LAYER SHALL BE COMPACTED BY APPROVED MECHANICAL TAMPING MACHINES. UNLESS OTHERWISE SPECIFIED BACKFILL SHALL BE COMPACTED TO NOT LESS THAN 92% MAXIMUM MODIFIED DENSITY IN ACCORDANCE WITH ASTM DESIGNATION D-1557 IN THE MANNER HEREIN DESCRIBED. BACKFILL SHALL PROCEED UP TO THE LINES AND GRADES AS SHOWN ON THE DRAWINGS.

TYPE II TRENCH

16

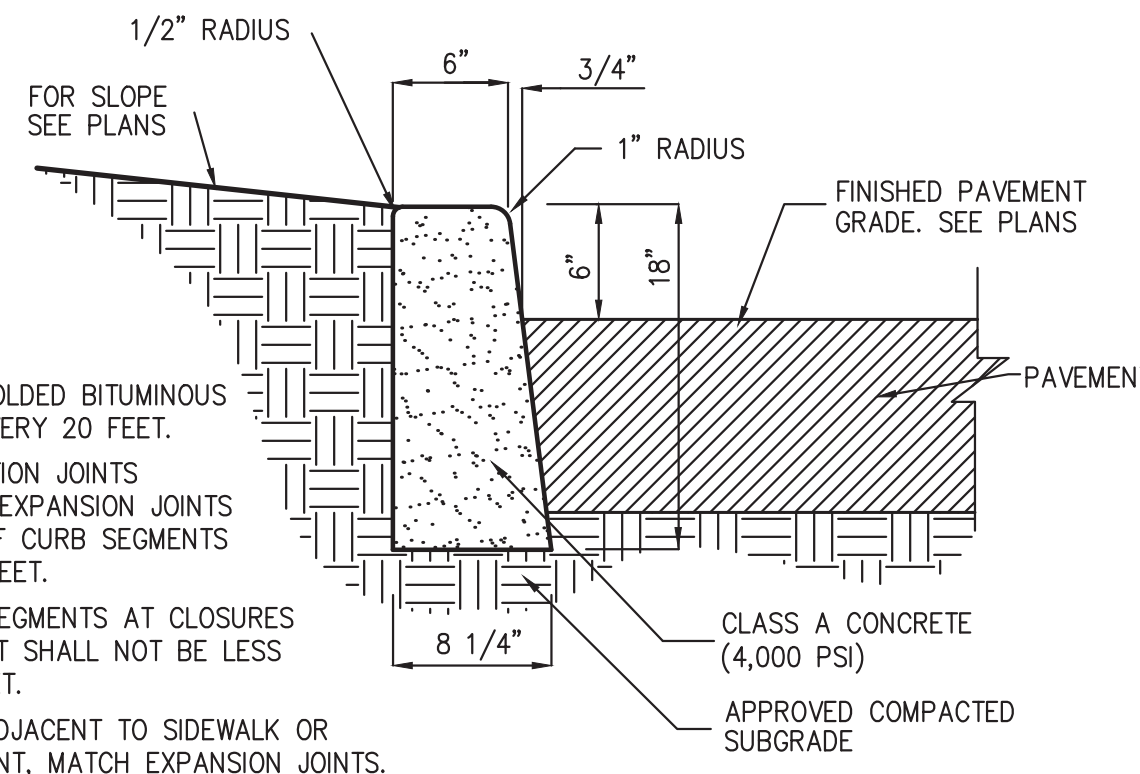


NOTES:

- IMMEDIATELY AFTER GRADING OPERATIONS, THE GRASS SWALE SHALL BE STABILIZED WITH SOD CONTAINING A MIXTURE OF 50% KENTUCKY BLUEGRASS, 25% CREEPING RED FESCUE AND 25% PERENNIAL RYEGRASS. SOD SHALL BE CUT IN UNIFORM WIDTH STRIPS OF LIVE GRASS.
- FOR SWALE SLOPES EXCEEDING 8%, JUTE MESH SHALL BE UTILIZED TO STABILIZE THE SWALE BASE.
- AREA ADJACENT TO SWALE TO BE BROUGHT TO FINISHED GRADE IMMEDIATELY AS REQUIRED, TOPSOILED, SEEDING AND MAINTAINED FOR EROSION CONTROL.
- 6" MINIMUM FREEBOARD SHALL BE PROVIDED.

GRASS SWALE

12

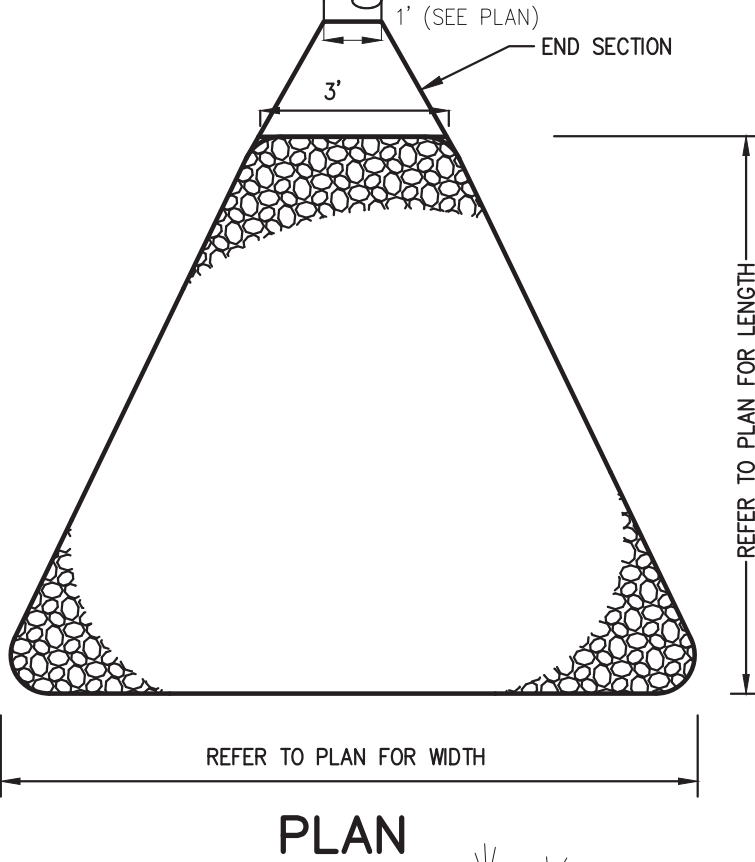


NOTES:

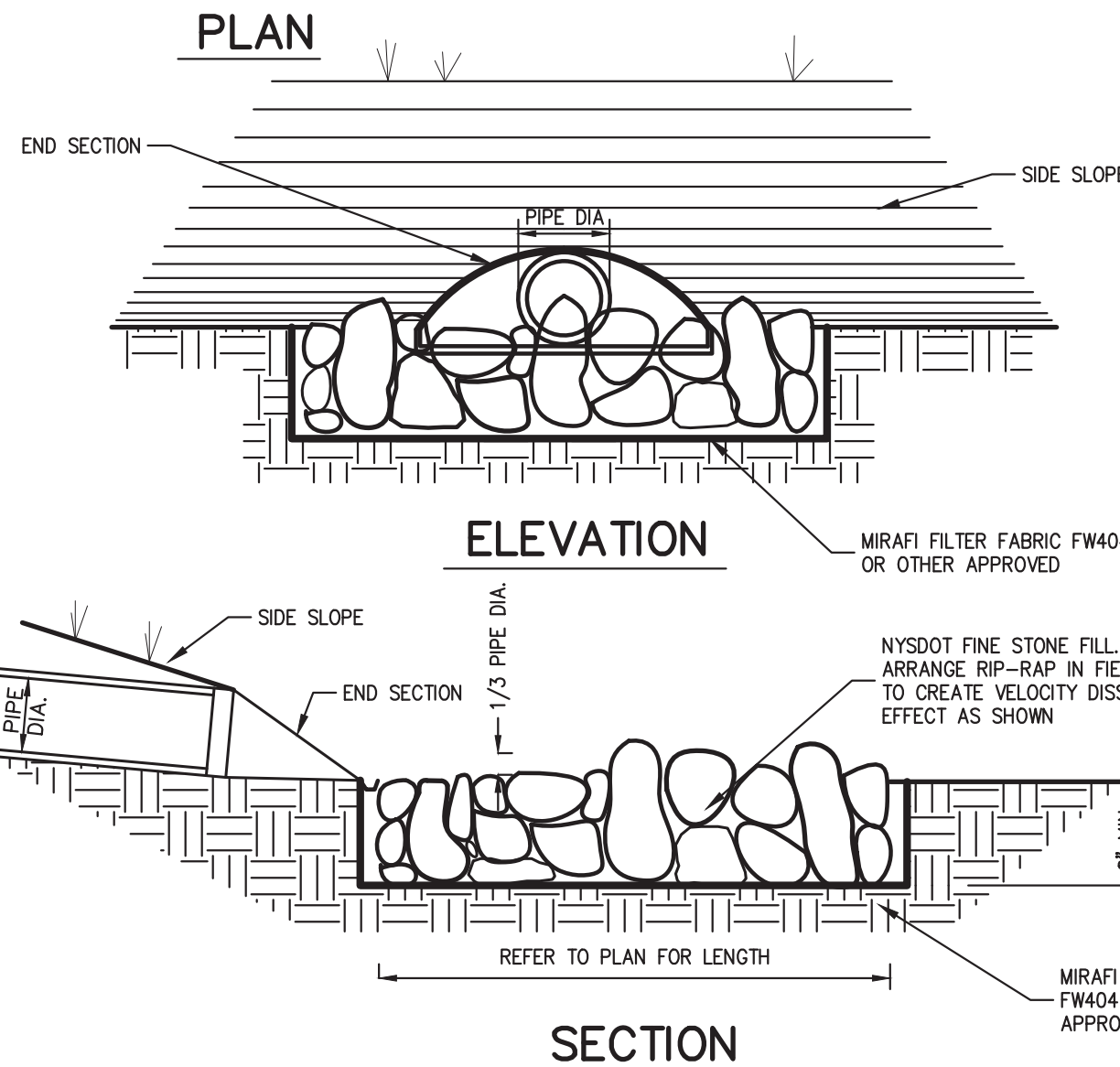
- INSTALL 1/2" PREMOLDED BITUMINOUS EXPANSION JOINT EVERY 20 FEET.
- INSTALL CONSTRUCTION JOINTS MID-WAY BETWEEN EXPANSION JOINTS SO THAT LENGTH OF CURB SEGMENTS WILL BE TEN (10) FEET.
- LENGTH OF CURB SEGMENTS AT CLOSURES MAY BE VARIED BUT SHALL NOT BE LESS THAN FOUR (4) FEET.
- WHEN INSTALLED ADJACENT TO SIDEWALK OR CONCRETE PAVEMENT, MATCH EXPANSION JOINTS.

CONCRETE CURB

13



ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.



RIP-RAP APRON

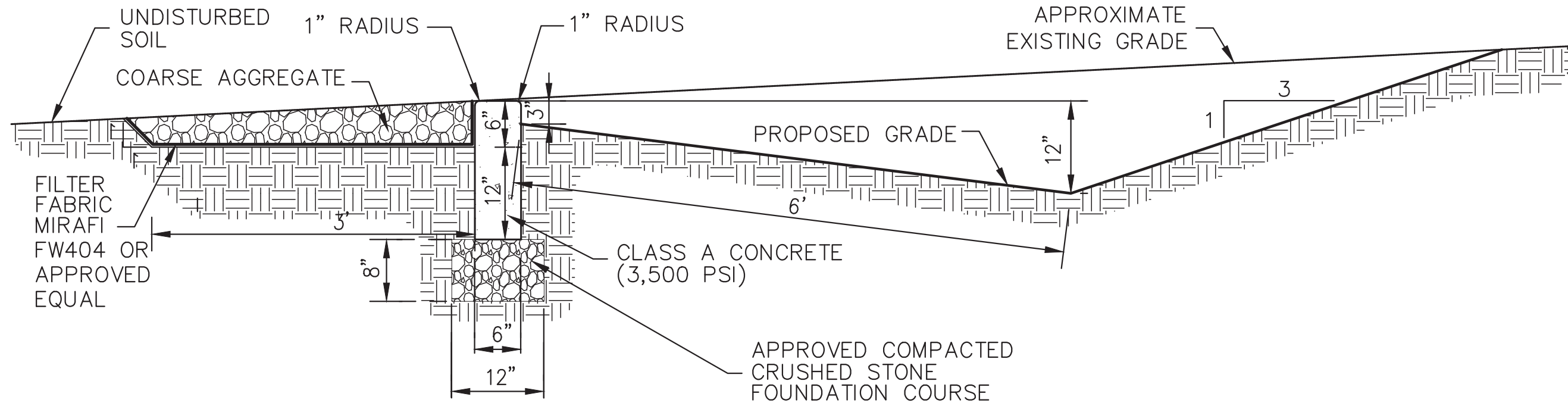
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JMC

CONSTRUCTION DETAILS
HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

DRAWN PD APPROVED JS
SCALE N.T.S.
DATE 07/11/2017
PROJECT NO. 16237
DWG 16237-ZD-DETAILS
TAB ZD-7
LS --
ZD-9



- NOTES PERTAINING TO DRAIN INLETS**
- A-1 STEPS WILL NOT BE REQUIRED IN INLETS LESS THAN FOUR (4) FEET IN DEPTH. STEPS WILL BE REQUIRED IN INLETS FOUR (4) FEET OR GREATER IN DEPTH. DEPTHS FOR DRAIN INLETS SHALL BE MEASURED FROM FINISHED GRADE TO INSIDE BOTTOM OF STRUCTURE (INCLUDING SUMP AS APPLICABLE).
- A-2 WHEN STEPS ARE REQUIRED, STEPS SHALL COMPLY WITH THE SAME REQUIREMENTS OF ASTM STANDARD C-478, ARTICLE 13 ENTITLED "MANHOLE STEPS & LADDERS".
- A-3 FOR MASONRY STRUCTURES, THE FIRST COURSE OF MASONRY SHALL BE SET IN THE CONCRETE FOUNDATION BEFORE THE CONCRETE HAS SET. CONCRETE FOUNDATION SHALL BE CLASS "A"(4000 psi) CONCRETE, TWELVE (12) INCHES THICK AND SHALL EXTEND SIX (6) INCHES BEYOND THE OUTSIDE FACE OF THE STRUCTURE.
- A-4 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH AND CONSTRUCT THE PROPER SIZE STRUCTURE INCLUDING THE NECESSARY OPENINGS TO ACCOMMODATE THE WORK AS SHOWN ON THE PLANS OR ORDERED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.
- A-5 ALL NECESSARY PATCHING FOR DRAIN STRUCTURES SHALL BE ACCOMPLISHED WITH NON-SHRINKING CEMENT MORTAR GROUT, APPROVED EQUAL TO SIKKA-SET AS MANUFACTURED BY THE SIKKA CHEMICAL CORP.
- A-6 FOUNDATIONS FOR PRECAST CONCRETE STRUCTURES SHALL BE SET ON A COMPACTED LAYER OF APPROVED CRUSHED STONE HAVING A MINIMUM COMPACTED THICKNESS OF EIGHT (8) INCHES.
- A-7 ALL PIPES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF THE STRUCTURE.
- A-8 PROVIDE REINFORCED CONCRETE TOP SLAB FOR OVERSIZED DRAIN INLETS WITH PROPER SIZE OPENING TO ACCOMMODATE INSTALLATION OF FRAME & GRATE.
- A-9 FOR MASONRY STRUCTURES GREATER THAN TEN (10) FEET IN DEPTH, THICKNESS OF MASONRY WALLS SHALL BE INCREASED TO TWELVE (12) INCHES.
- A-10 FOR ALL STRUCTURES GREATER THAN 10 FEET IN DEPTH, STRUCTURES SHALL PROVIDE MINIMUM INSIDE DIMENSIONS OF 4 FEET X 4 FEET.

- NOTES PERTAINING TO MANHOLES**
- B-1 PRECAST CONCRETE MANHOLES SHALL COMPLY WITH ASTM STANDARD C-478. MANHOLE JOINTS SHALL COMPLY WITH ASTM STANDARD C-443.
- B-2 FOR PRECAST CONCRETE MANHOLES FIVE (5) FEET OR LESS IN HEIGHT, TOP CONE SECTION SHALL BE REPLACED WITH PRECAST REINFORCED CONCRETE SLAB (6" MIN. THICKNESS) WITH OPENING OF SUFFICIENT SIZE TO ACCOMMODATE MANHOLE CASTING.
- B-3 FOR MANHOLES 10 FEET OR MORE IN DEPTH, MANHOLE DIAMETER SHALL BE FIVE (5) FEET.
- B-4 TERMINAL MANHOLE FLOORS SHALL BE SLOPED TOWARD OUTFALL PIPE.
- B-5 INVERT CHANNELS FOR PRECAST CONCRETE MANHOLES SHALL BE CONSTRUCTED OF CONCRETE.
- B-6 NOTES A-1, A-2, A-4, A-5, A-6 & A-7 UNDER "NOTES PERTAINING TO DRAIN INLETS" ABOVE SHALL APPLY TO MANHOLES.

- NOTES PERTAINING TO PRECAST CONCRETE STRUCTURES FOR STORM DRAINS, SANITARY SEWERS AND WATER LINES**
- C-1 ALL PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.
- C-2 STEPS SHALL BE LOCATED WITHIN STRUCTURE TO AVOID PLACEMENT OVER PIPES WHEN PRACTICABLE.

SYSTEM REQUIREMENTS									
POWER provided by	Utility Company direct		TELCO provided by		Fiber Optics				
Power Requirements	Amps: 200		Volts: 120/240		No. of Outlets: N/A				
Generator Provided by	Licensee		Make/Model		Generac SDO30		Fuel Type & Capacity		Diesel
Batteries	Quantity		Make/Model		N/A				
SPACE REQUIREMENTS & RADIO INVENTORY									
Type of Space Required	Ground	Yes	Floor	No	Total Square Feet		240 sq ft		
Dimensions of Floor/Ground Space Required				12' x 20'		Equipment Height		10'	
No. of Transmitters (Tx)	N/A		Transmitter Make/Model		N/A		Transmitter Power Output		N/A
No. of Receivers (Rx)	N/A		Receiver Make/Model		N/A		Transmitter ERP		N/A
EQUIPMENT LOADING DESCRIPTION (FINAL CONFIGURATION)									
	Sector 1		Sector 2		Sector 3		DISH(ES)		OTHER
Antenna Type (1)	Panel		Panel		Panel		N/A		N/A
Qty of Antennas (1) / Sector	Four (4)		Four (4)		Four (4)		None		None
Transmit, Receive or Both	Both		Both		Both		N/A		N/A
Antenna Make (1)	Commscope		Commscope		Commscope		N/A		N/A
Antenna Model (1)	SBNHH-1D65B		SBNHH-1D65B		SBNHH-1D65B		N/A		N/A
Antenna Dimensions (1)	72.9" x 11.9" x 7.1"		72.9" x 11.9" x 7.1"		72.9" x 11.9" x 7.1"		N/A		N/A
Antenna Weight (1)	40.6 lbs		40.6 lbs		40.6 lbs		N/A		N/A
Requested Antenna RAD (1)	90 ft		90 ft		90 ft		N/A		N/A
RRU/RRH(s) / Sector (1)	One (1)		One (1)		One (1)		Please e include microwave dish frequencies below:		
RRU/RRH Manufacturer (1)	Alcatel-Lucent		Alcatel-Lucent		Alcatel-Lucent				
RRU/RRH Model # (1)	RRH2x40W-07AT		RRH2x40W-07AT		RRH2x40W-07AT				
RRU/RRH Dimensions (1)	24.8" x 11.4" x 5.6"		24.8" x 11.4" x 5.6"		24.8" x 11.4" x 5.6"				
RRU/RRH Weight (1)	50.3 lbs		50.3 lbs		50.3 lbs				
RRU/RRH RAD (1)	90 ft		90 ft		90 ft				
RRU/RRH(s) / Sector (2)	One (1)		One (1)		One (1)				
RRU/RRH Manufacturer (2)	Alcatel-Lucent		Alcatel-Lucent		Alcatel-Lucent				
RRU/RRH Model (2)	B25 RRRH4X30-4R		B25 RRRH4X30-4R		B25 RRRH4X30-4R				
RRU/RRH Dimension (2)	21.4" x 12.0" x 7.2"		21.4" x 12.0" x 7.2"		21.4" x 12.0" x 7.2"				
RRU/RRH Weight (2)	51 lbs		51 lbs		51 lbs				
RRU/RRH RAD (2)	90 ft		90 ft		90 ft				
RRU/RRH(s) / Sector (3)	One (1)		One (1)		One (1)				
RRU/RRH Manufacturer (3)	Alcatel-Lucent		Alcatel-Lucent		Alcatel-Lucent				
RRU/RRH Model (3)	RRH4x25-WCS-4R		RRH4x25-WCS-4R		RRH4x25-WCS-4R				
RRU/RRH Dimension (3)	29.5" x 11.8" x 2.9"		29.5" x 11.8" x 2.9"		29.5" x 11.8" x 2.9"				
RRU/RRH Weight (3)	70 lbs		70 lbs		70 lbs				
RRU/RRH RAD (3)	90 ft		90 ft		90 ft				
TMA's Per Sector	None		None		None		Please e include microwave dish frequencies below:		
Duplexers Per Sector	None		None		None				
Surge Suppressors/Sector	None		None		None				
OTHER	None		None		None				
Transmit Frequencies	1930-1935, 1935-1940, 1965-1970, 734-740, 740-746 MHz					N/A		N/A	
Receive Frequencies	1850-1855, 1855-1860, 1885-1890, 704-710, 710-716 MHz					N/A		N/A	
# of Lines/ Sector	One (1)		One (1)		One (1)		None		None
Line Size	Fiber Line		DC Power		RET Line		N/A		N/A
Mount Type	T-Arm		T-Arm		T-Arm		N/A		N/A
Mount Size	Ten Feet (10')		Ten Feet (10')		Ten Feet (10')		N/A		N/A

CONCRETE LEVEL SPREADER

18

UTILITY NOTES

19

AT&T ANTENNA SPECIFICATIONS

20

SD030 | 2.4L | 30 kW
INDUSTRIAL DIESEL GENERATOR SET
EPA Certified Stationary Emergency

GENERAC | INDUSTRIAL POWER

STANDBY POWER RATING
30 kW, 38 kVA, 60 Hz

PRIME POWER RATING*
27 kW, 34 kVA, 60 Hz

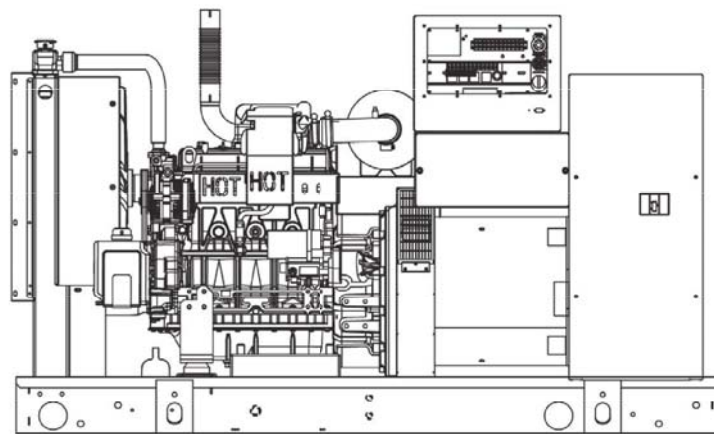


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*Built in the USA using domestic and foreign parts.
*EPA Certified Prime ratings are not available in the U.S. or its Territories.
**Certain options or customization may not hold certification valid.

CODES AND STANDARDS

Generac products are designed to the following standards:

UL2200, UL508, UL142, UL498

NFPA70, 99, 110, 37

NEC700, 701, 702, 708

ISO9001, 8528, 3046, 7637, Pluses #2b, 4

NEMA ICS10, MG1, 250, ICS6, AB1

ANSI C62.41

POWERING AHEAD

For over 50 years, Generac has led the industry with innovative design and superior manufacturing.

Generac ensures superior quality by designing and manufacturing most of its generator components, including alternators, enclosures and base tanks, control systems and communications software.

Generac's gensets utilize a wide variety of options, configurations and arrangements, allowing us to meet the standby power needs of practically every application.

Generac searched globally to ensure the most reliable engines power our generators. We choose only engines that have already been proven in heavy-duty industrial application under adverse conditions.

Generac is committed to ensuring our customers' service support continues after their generator purchase.

SD030 | 2.4L | 30 kW
INDUSTRIAL DIESEL GENERATOR SET
EPA Certified Stationary Emergency

GENERAC | INDUSTRIAL POWER

APPLICATION AND ENGINEERING DATA

ENGINE SPECIFICATIONS

General

Make	Generac	Cooling System Type	Closed Recovery
EPA Emissions Compliance	Stationary Emergency	Water Pump	Pre-Lubed, Self Sealing
EPA Emissions Reference	See Emissions Data Sheet	Fan Type	Pusher
Cylinder #	4	Fan Speed (rpm)	2698
Type	In-Line	Fan Diameter mm (in)	560 (22)
Displacement - L (cu in)	2.4 (146.46)	Coolant Standard Voltage	1500
Bore - mm (in)	90 (3.54)	Coolant Heater Standard Voltage	120 VAC
Stroke - mm (in)	94 (3.70)		
Compression Ratio	21.3:1		
Intake Air Method	Turbocharged		
Cylinder Head Type	Cast Iron		
Piston Type	Aluminum		

Engine Governing

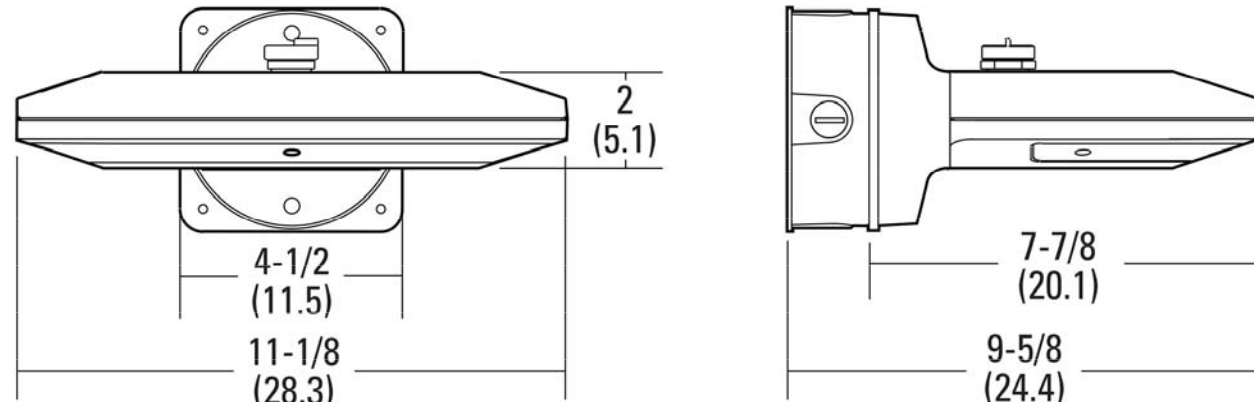
Governor	Electronic Isochronous
Frequency Regulation (Steady State)	+/- 0.25%

Lubrication System

Oil Pump Type	Gear
Oil Filter Type	Full Flow
Crankcase Capacity - L (qt)	6.2 (6.52)

ALTERNATOR SPECIFICATIONS

Standard Model	390	Standard Excitation	Synchronous
Poles	4	Bearings	Single Sealed Cartridge
Field Type	Revolving	Coupling	Direct, Flexible Disc
Insulation Class - Rotor	H	Load Capacity - Standby	100%
Insulation Class - Stator	H	Prototype Short Circuit Test	Yes
Total Harmonic Distortion	<5%	Voltage Regulator Type	Digital
Telephone Interference Factor (TIF)	<50	Number of Sensed Phases	All
		Regulation Accuracy (Steady State)	±0.25%



All dimensions are inches (centimeters) unless otherwise indicated.

NOTES:

1. LIGHT SHALL BE INSTALLED TO BE DOWNWARD FACING.
2. NO LIGHTING SHALL BE PERMITTED TO SPILL ONTO ADJOINING PROPERTIES.
3. LIGHT SHALL BE CONTROLLED BY A MANUAL TIMER.

AT&T GENERATOR SPECIFICATIONS

21

LIGHTING STANDARD (OR APPROVED EQUAL)

22

SLOPE MATTING

23

SLOPE INSTALLATION

1. FINE GRADE SLOPE AND ADD SOIL AS NEEDED TO CREATE AN EVEN SURFACE.

2. SEED SLOPE WITH SEED MIX AS FOLLOWS:

Name	Variety	% of Mixture
Hard Fescue/Festuca longifolia	Bornito	50
Chewing Fescue/Festuca arundinacea	SR5130	25
Sheeps Fescue/Festuca ovina	VNS	25

3. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE REC'S IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF REC'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE REC'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF REC'S BACK OVER SEED AND COMPACTED SOIL. SECURE REC'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE REC'S.

4. ROLL THE REC'S DOWN THE SLOPE. REC'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL REC'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE "D" PATTERN GUIDE (SEE ATTACHED STAPLE PATTERN GUIDE). WHEN USING THE DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.

5. THE EDGES OF PARALLEL REC'S SHALL BE STAPLED WITH APPROXIMATELY 2" - 5" OVERLAP DEPENDING ON REC'S TYPE.

6. CONSECUTIVE REC'S SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE REC'S WIDTH.

NOTE: *IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE REC'S.

JMC

CONSTRUCTION DETAILS

**HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY**

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REVISION

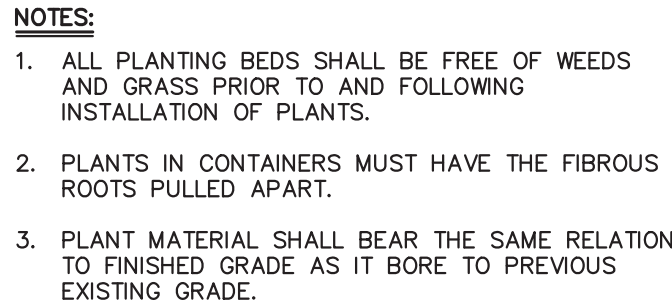
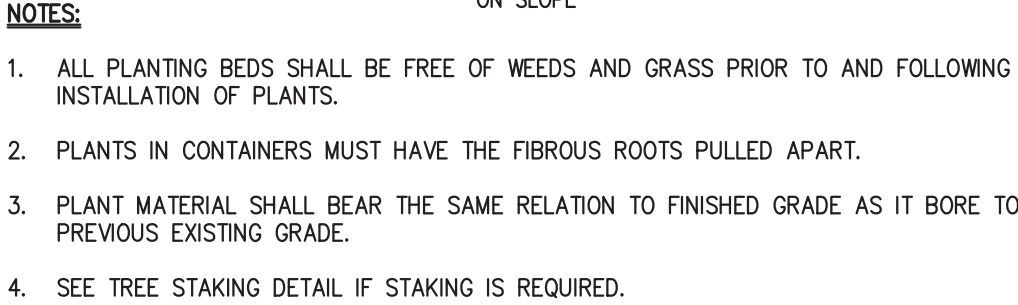
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1.	12/19/2017		

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DRAWING PD **APPROVED** JS
SCALE N.T.S.
DATE 07/11/2017
PROJECT NO. 16237
DWG 16237-ZD-DETAILS **TAB** ZD-8 **LS** --
DRAWING NO. ZD-10



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FORMERLY O'NEIL
SEE MAP ENTITLED "SUBDIVISION PLAT OF THE
MOFFATT ROAD PROPERTY PREPARED FOR
MICHAEL & PATRICIA QUIANA..."; FILED IN THE
PUTNAM COUNTY CLERK'S OFFICE ON
OCTOBER 7, 1985 AS MAP NO. 2085.

FORMERLY CHAMPLIN
N/F CHAMPLIN FAMILY TRUST
LIBER 1850 CP 206

FORMERLY MULVEHILL
N/F OLSHAKOSKI
LIBER 733 CP 731

LEGEND

	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING PAVEMENT EDGE
	EXISTING BUILDING LINE
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	EXISTING GRAVEL DRIVE
	PROPOSED GRAVEL SURFACE
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED TREE PROTECTION

NOTES:

1. EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM A DRAWING TITLED "SURVEY OF PROPERTY" PREPARED BY BADEY & WATSON SURVEYING & ENGINEERING PC, DATED 03/21/2017.

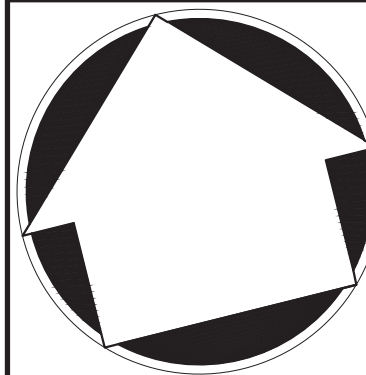
APPLICANT:

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DANBURY, CT 06810

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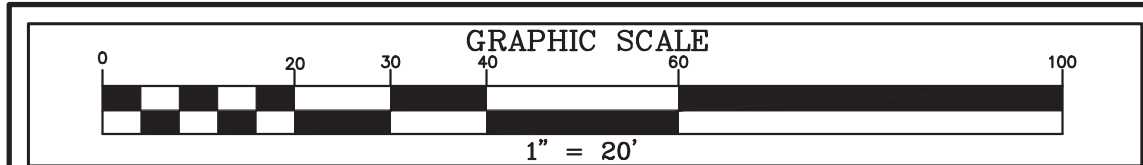
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ROCKLEDGE ROAD / EASEMENT CONCEPTUAL IMPROVEMENT PLAN

**HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY**

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SITE NAME: NELSONVILLE
SITE NUMBER: NY170
TAX PARCEL: 49.6-1-7

<i>No.</i>	<i>REVISION</i>	<i>DATE</i>	<i>B</i>
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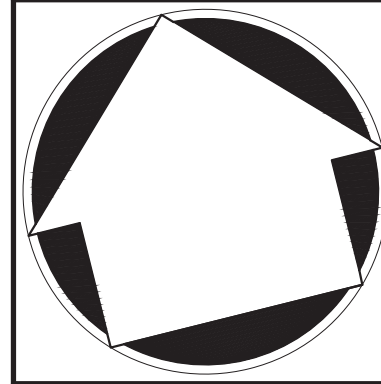
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	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING PAVEMENT EDGE
	EXISTING BUILDING LINE
	EXISTING TREE TO REMAIN
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	PROPOSED TREE PROTECTION

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ROCKLEDGE ROAD / EASEMENT
FIRE APPARATUS ACCESS PLAN

HOMELAND TOWERS
NELSONVILLE (NY170)
15 ROCKLEDGE ROAD
VILLAGE OF NELSONVILLE, NY

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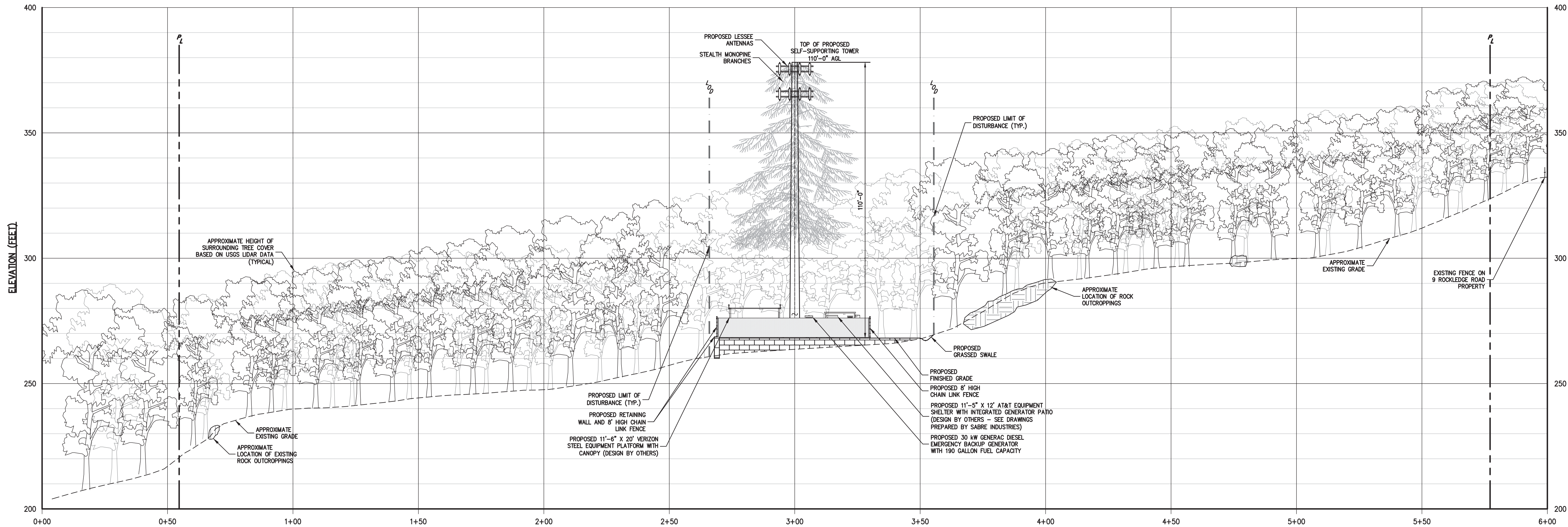
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ZD-12

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STATION (FEET)
SITE SECTION A-A
SCALE: 1" = 20' HORIZ. 1" = 20' VERT.



SITE GRADING PLAN
SCALE: 1" = 80'

NOTES:

1. APPROXIMATE TREE CANOPY HEIGHTS SHOWN HAVE BEEN OBTAINED FROM AVAILABLE UNITED STATES GEOLOGICAL SURVEY LIGHT DETECTION AND RANGING (LIDAR) DATA.
2. FOR CLARITY, EXISTING VEGETATION IN THE FOREGROUND/BACKGROUND OF THE SECTIONS IS NOT SHOWN.

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1		AS SHOWN		12/19/2017		JS	
2		PROJECT NO: 16237		SOP: 3.0-GRD-UTIL-SE		SECTION A	
3		DRAWING NO: ZD-13		TAX PARCEL: 49.6-1-7		SITE NAME: NELSONVILLE	
4		SITE NUMBER: NY170		TAX PARCEL: 49.6-1-7		SITE NAME: NELSONVILLE	

NO.		REVISION		DATE		BY	
1		AS SHOWN		12/19/2017		JS	
2		PROJECT NO: 16237		SOP: 3.0-GRD-UTIL-SE		SECTION A	
3		DRAWING NO: ZD-13		TAX PARCEL: 49.6-1-7		SITE NAME: NELSONVILLE	
4		SITE NUMBER: NY170		TAX PARCEL: 49.6-1-7		SITE NAME: NELSONVILLE	

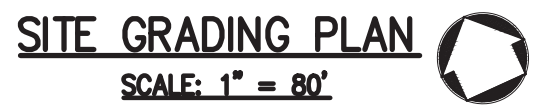
SITE CROSS SECTIONS
HOMELAND TOWERS
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DATE:	12/19/2017		
PROJECT No:	16237		
DWG: 16237-ZD	TAB: SECTION B	SOP: 3_BRAD-UTIL-SE	
DRAWING No: ZD-14			

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